



**DISTRICT OF SECHELT
REGULAR MEETING OF COUNCIL
AGENDA**

**Wednesday, September 4, 2024, 7:00 pm
Community Meeting Room
1st Floor, 5797 Cowrie St., Sechelt
and Via Zoom Online Meeting Platform**

PLEASE NOTE:

The public is welcome to attend meetings in person or by electronic communications, as follows:
District of Sechelt's YouTube channel: <https://www.youtube.com/user/SecheltMedia>
Zoom: <https://zoom.us>, join Meeting ID: 837 0888 9912 and Password: SEPT2024
Phone: 1-778-907-2071, with Meeting ID: 837 0888 9912 and Password: 45606084

Pages

1. LAND ACKNOWLEDGEMENT	
The District of Sechelt is located on the traditional and unceded territory of the shíshálh Nation. We respect the histories, language and culture of the people of the shíshálh Nation, whose presence continues to enrich this community.	
2. CALL TO ORDER AND DECLARATION OF CONFLICT	
3. ADOPTION OF AGENDA	
4. DELEGATIONS & PROCLAMATIONS	
4.1 British Columbia Conservation Officer Service, Sergeant D. Miller	3
To Discuss the District of North Vancouver's UBCM "Black Bear Cub Conflict Response" Resolution.	
5. BUSINESS ITEMS	
5.1 Notice of Motion - Mayor Henderson: Governance Audit	4
5.2 Notice of Motion - Mayor Henderson: Community Safety	5
5.3 Development Permit with Variance for 4686 Sunshine Coast Highway	7
5.4 Development Permit with Variance for 6217 Highmoor Road	33
5.5 Development Permit with Variance for 7071 Porpoise Drive	39
6. BYLAWS	
6.1 Official Community Plan Amendment & Rezoning Amendment for 63 Townhomes – 5926 Shoal Way	
a. For First Reading and Consideration of Conditions	76

b.	Official Community Amendment Bylaw No. 492-38, 2024 (5926 Shoal Way) <i>For First Reading.</i>	110
c.	Zoning Amendment Bylaw No. 580-15, 2024 (5926 Shoal Way) <i>For First Reading.</i>	112
7.	MINUTES OF PREVIOUS MEETINGS	
7.1	Minutes of the August 19, 2024 Special Council to Closed Meeting	115
7.2	Minutes of the August 7, 2024 Regular Council Meeting	118
7.3	Minutes of the July 24, 2024 Committee of the Whole Meeting That the Minutes of the July 24, 2024 Committee of the Whole Meeting be received and the following recommendation be endorsed: (3) That the July 24, 2024, Committee of the Whole staff report titled Community Forest Legacy Fund Dividends Policy and Bylaw Amendment be referred back to staff for further analysis and consideration of comments from the Sunshine Coast Community Forest Board of Directors.	126
7.4	Minutes of the July 2, 2024 Advisory Planning Commission	130
8.	BUSINESS ARISING FROM THE MINUTES	
9.	COUNCIL REPORTS	
9.1	Sunshine Coast Regional District Representatives	
9.2	Council	
10.	CORRESPONDENCE	
10.1	Union of British Columbia Indian Chiefs UBCIC Resolution 2024-33 “Rejection of Residential School Denialism”.	136
11.	RELEASE OF CLOSED MEETING ITEMS None.	
12.	ADJOURNMENT <i>Public Question and Answer Period.</i>	

April 16, 2024

To British Columbia Municipalities

Dear Mayor and Members of Council:

Re: Support for Resolution Black Bear Cub Conflict Response by British Columbia Conservation Officer Service

At it's Regular Meeting held on Monday, February 26, 2024 the District of North Vancouver Council unanimously passed the following motion:

RECOMMENDATION:

THAT the Union of British Columbia Municipalities resolution Black Bear Cub Conflict Response by British Columbia Conservation Officer Service is supported for Lower Mainland Local Government Association consideration:

WHEREAS *the British Columbia Conservation Officer Service currently can independently decide how to handle black bears and cubs in conflict situations, without the oversight of an independent external public board;*

AND WHEREAS *there is no mandate for orphaned black bear cubs to be taken to a Wildlife Sanctuary for health assessment and treatment by a qualified wildlife veterinarian, and be the sole authority to perform a humane euthanasia of black bear cubs if needed.*

THEREFORE BE IT RESOLVED *that the Union of British Columbia Municipalities request the Province of British Columbia to initiate changes to the British Columbia Conservation Officer Service, Human-Black Bear (Single) Conflict Response Guideline, to include a review of actions through an independent civilian-led oversight board, orphaned bear cubs to be transported to a wildlife sanctuary for health assessment of cubs by qualified wildlife veterinarian, for treatment or euthanasia, and an audit done by the Solicitor General on the British Columbia Conservation Officer Service actions, policies and procedures.*

We are anticipating that this will be considered at the upcoming Lower Mainland Local Government Association's Annual Conference, and we would appreciate your support.

Sincerely,



Mayor Mike Little

NOTICE OF MOTION

TO: Council **MEETING DATE:** September 4, 2024
FROM: Mayor Henderson, August 26, 2024
SUBJECT: Governance Audit Recommendations
FILE NO: 0550

WHEREAS,

1. it is well known that the District retained a third party service provider to conduct a Governance Audit (the “Audit”) during the first half of 2024
2. Select portions of the Audit have been made public
3. Some reports completed as part of the Audit engagement have not been released to Council or the public,
4. Transparency is an important part of good governance, and
5. I believe release of all reports arising from the Audit engagement will be beneficial to the community

NOW THEREFORE, I RECOMMEND:

1. That all reports produced as part of the Audit engagement be released publicly immediately
 2. That the terms of reference for the Audit engagement as well as the details of the process undertaken to select the service provider be released publicly.
 3. Staff be directed to update Council on their plans, recommendations and next steps to address the provisions of the Audit in writing at the September 25th meeting of Council.
-

Legislative Context

District of Sechelt Council Procedure Bylaw No. 568, 2018

26. (1) Any member of Council desiring to bring forward to Council any new matter, other than a point of order or privilege, shall do so by way of a “Notice of Motion” and the matter shall be dealt with as provided by section 26(2).
- (2) Any member of Council may give notice of motion:
- (b) provide the Corporate Officer with a written copy of such motion, no later than nine calendar days prior to the scheduled meeting and the Corporate Officer shall add the motion to the agenda for said meeting.

Respectfully submitted,

John Henderson, Mayor

NOTICE OF MOTION

TO: Council **MEETING DATE:** September 4, 2024
FROM: Mayor Henderson, August 26, 2024
SUBJECT: **Community Safety Recommendations**
FILE NO: 0550

RECOMMENDATIONS:

1. Council directs staff to implement a Community Safety Officer programme comprising at least 4 full time positions
 2. Council directs staff to hire a Coordinator to implement and manage a Community Block Watch programme in cooperation with the RCMP
 3. Council direct staff to provide a detailed road map, at our September 25th Council meeting, to deliver the above, including necessary bylaws that contemplate full implementation, including hiring of personnel, not later December 31st, 2024.
 4. Council direct staff to identify and recommend options for funding the costs for these initiatives (likely in the order of \$750,000 per annum) including from general reserves, tax increases and grant funding programmes.
 5. Council authorize the Mayor and at least one Councillor to travel to Victoria and elsewhere to advocate with Provincial political and senior bureaucrats for funding for these projects.
 6. Council authorize at least one Councillor to accompany that Mayor to Ottawa in November to advocate with appropriate federal government ministers and senior staff regarding changes to the criminal code.
 7. Council invite leaders of other municipalities to join these advocacy efforts in Victoria and Ottawa.
 8. Council send a letter to all candidates for the Provincial election outlining our concerns about Crime & Safety in Sechelt and ask them what actions they will take, if elected.
-

Message from Mayor

Thanks to Sechelt Council, and especially Councillor Brenda Rowe, the RCMP, all of the Crime Watch Facebook Admins and contributors (and especially Julia Atkins) as well as the many, many volunteers and District staff who stepped forward to make the Crime & Safety event happen last week. A special thanks to the Sechelt Activities Centre for moving things around to accommodate us – it was obviously important to have the large venue.

It is clear the issues of crime and safety are top of mind in our community. It seems clear that we need to get into action immediately. It may be that our initial efforts are not perfect but starting now with the expectation that adjustments to our efforts will be considered is, in my view, the best way to proceed. Given the urgency of the situation, I look forward to a fulsome discussion of the below matters at our next council meeting on September 4th.

Legislative Context

District of Sechelt Council Procedure Bylaw No. 568, 2018

26. (1) Any member of Council desiring to bring forward to Council any new matter, other than a point of order or privilege, shall do so by way of a “Notice of Motion” and the matter shall be dealt with as provided by section 26(2).
- (2) Any member of Council may give notice of motion:
- (b) provide the Corporate Officer with a written copy of such motion, no later than nine calendar days prior to the scheduled meeting and the Corporate Officer shall add the motion to the agenda for said meeting.

Respectfully submitted,

John Henderson, Mayor

REQUEST FOR DECISION

TO: Council **MEETING DATE:** September 4, 2024
FROM: Ian Holl, Development Planning Manager
SUBJECT: Development Permit with Variance for 4686 Sunshine Coast Highway
FILE NO: 3090-2024-14

RECOMMENDATION

That Development Variance Permit 2024-14 be approved and issued.

PURPOSE

The owners of the property have applied for a development variance permit to increase the allowable height for a single-detached dwelling that is under construction on the property. The building permit was approved with zoning compliance. However, the plans were not specifically adhered to and the builder made an error in the construction. The dwelling was constructed over height as a result though only by approximately 0.4 m.

OPTIONS

1. Deny the application.

DISCUSSION

Summary

A stop work order was issued by the Building Department in May 2024 due to the discovery of the over height issue and subsequently a Development Variance Permit application (DVP) was requested to allow a height increase from 8.5 m to 8.9 m for the dwelling.

It should be noted that the building will also appear higher due to the requirements of the Flood Construction Level (FCL) as determined by a site-specific geotechnical assessment. In this case the building site was required to be raised by approx. 2 m to meet the FCL requirement. Once the FCL has been determined then the building height is calculated from the top of the FCL in accordance with the zoning bylaw regulations.

Legislative Context

Local governments have the authority to consider applications by owners to vary provisions of a bylaw as outlined in Division 9 (Development Variance Permits) of the *Local Government Act*. A local government may vary a land use regulation in accordance with applicable guidelines however, the level of density or use of the land may not be altered.

Background

Table 1 – Application Summary

Applicant	Andy Sangha, Dreamline Construction Inc.
Owner	Balwinder Kaur Brar Lougheed
Civic Address	4686 Sunshine Coast Highway
Legal Address	LOT 3 BLOCK 4 DISTRICT LOT 1356 PLAN 7006, PID 010-741-429
Size of Properties	~724 m ²
OCP Designation	Low Density Residential
Zoning Designation	R1
DP Areas	N/A

ANALYSIS

While the original intent was to comply with the Zoning Bylaw height regulation, the builder made an error and managed to go over height by a small margin. In response to the Stop Work Order, staff noted that a Development Variance Permit application would be one option to pursue as an alternative to modifying the building to comply with the bylaw. The Province created the Development Variance Permit process to deal with bylaw compliance situations both before and after they have occurred.

Seven comments have been received from the public notification process. None of them support the variance. These comments represent neighbours who are concerned with the height of the building and lack of compliance with the Zoning Bylaw. This represents a level of public concern over the application that would provide a rationale for denying the application.

Given the FCL issue noted above, the building would appear to be higher even if the 8.5 m height was adhered to. Overall, this could be considered a relatively minor variance. As other properties are redeveloped, new dwellings would also be subject to FCL requirements.

It is also justifiable for Council to deny the variance and require the applicants to comply with the zoning bylaw and original permit requirements.

POLICY AND BYLAW IMPLICATIONS

The proposed development is generally consistent with OCP and Zoning Bylaws, with the exception of the minor increase in height. A variance would be required to bring the development into full compliance with the Zoning Bylaw.

SUSTAINABILITY PLAN IMPLICATIONS

None.

STRATEGIC PLAN IMPLICATIONS

None.

FINANCIAL IMPLICATIONS

None.

COMMUNICATIONS

Owners and occupiers within 100 m of the subject property were notified of the intention for Council to consider Development Variance Permit 2024-14 as required under Section 499 of the *Local Government Act* and Planning Procedures Bylaw No. 566, 2018.

Seven comments have been received to date and are included in Attachment 2.

Respectfully submitted,

Ian Holl, MCIP, RPP

Development Planning Manager

Attachments:

- 1 - Development Variance Permit 2024-14
- 2 - Public Comments

DEVELOPMENT VARIANCE PERMIT NO. 2024-14

1. This Development Variance Permit is issued to:

Balwinder Kaur Brar Lougheed
PO Box 130
4877 Francis Peninsula Road
Madeira Park, BC V0N 2H0

2. This Development Variance Permit is issued subject to compliance with all the applicable Bylaws of the District of Sechelt except as specifically varied or supplemented by this Permit.
3. This Development Variance Permit applies to, and only to, the property within the District of Sechelt as described below, and all building structures and other developments thereon:

Parcel Identifier: PID 010-741-429

Legal Description: LOT 3 BLOCK 4 DISTRICT LOT 1356 PLAN 7006

Addressed as: 4686 Sunshine Coast Highway

4. Bylaws of the District enacted under Section 479 of the *Local Government Act*, as amended from time to time, are varied or supplemented as described below.
 - (a) Zoning Bylaw No. 580, 2022 is varied for the property noted above to achieve conformance for the retaining walls shown on Attachment 1.

The variance is as follows:

- i. Section 1.1.5 – to increase the maximum height of a Single-Detached Dwelling from 8.5 m to 8.9 m as indicated on the site plan included as Attachment 1.

CONDITIONS OF PERMIT

5. The Property and the works shall be developed strictly in accordance with the following terms, conditions and provisions of this Development Variance Permit and any plans and specifications attached to this Development Variance Permit shall form part of this Development Variance Permit:
 - a) Attachment 1 – Site Plan and Elevations
6. Notice of this permit shall be filed at the Land Titles Office under the authority of Section 503 of the *Local Government Act* and upon such filing, the terms of this permit or any amendment hereto shall be binding on all persons who acquire an interest in the lands affected by this permit.
7. **THIS PERMIT IS NOT A BUILDING PERMIT.**
8. **THIS PERMIT IS NOT A DEVELOPMENT PERMIT.**

Authorizing Signature:

Authorizing Resolution:

Date of Approval:

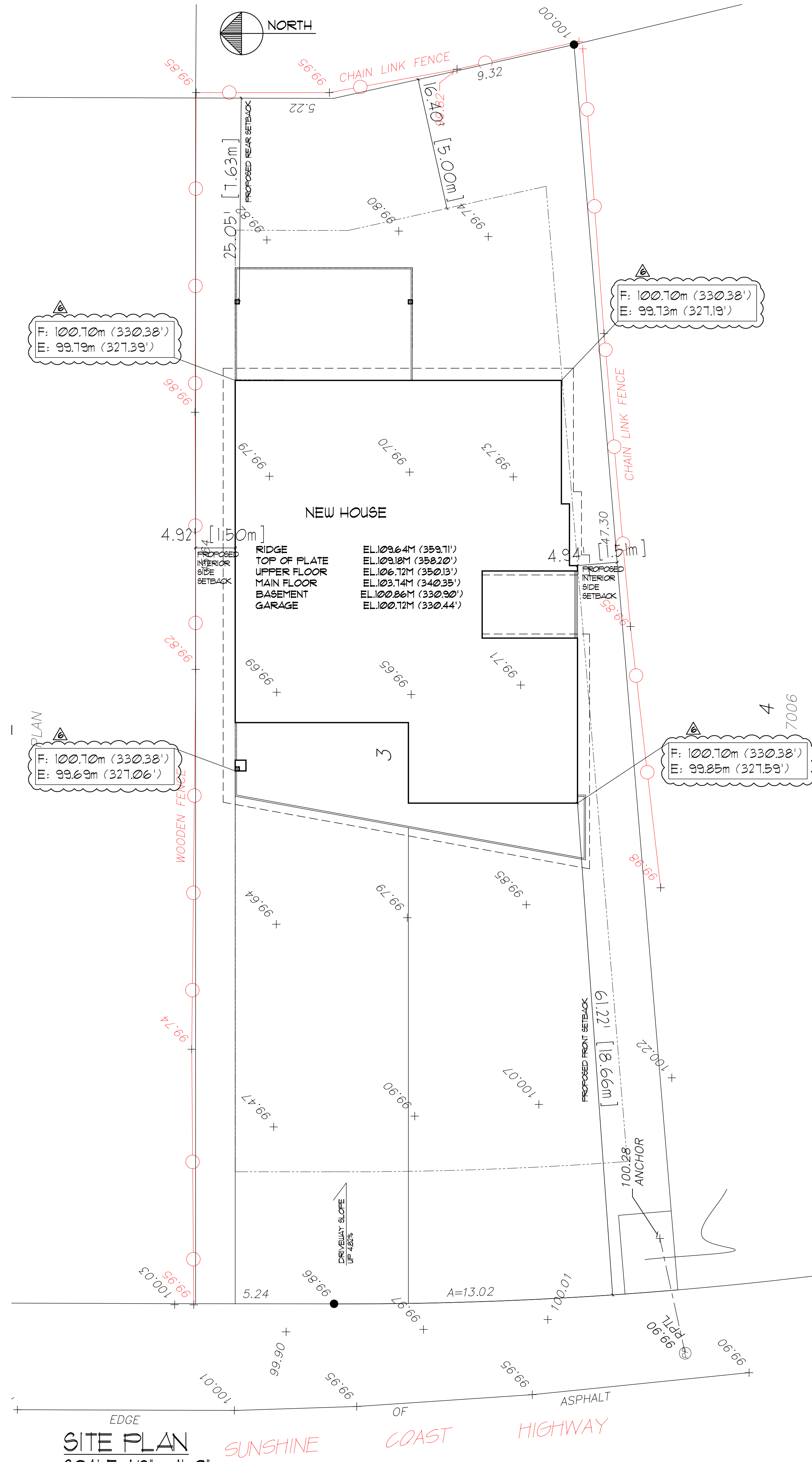
Date of Issue:

Andrew Allen

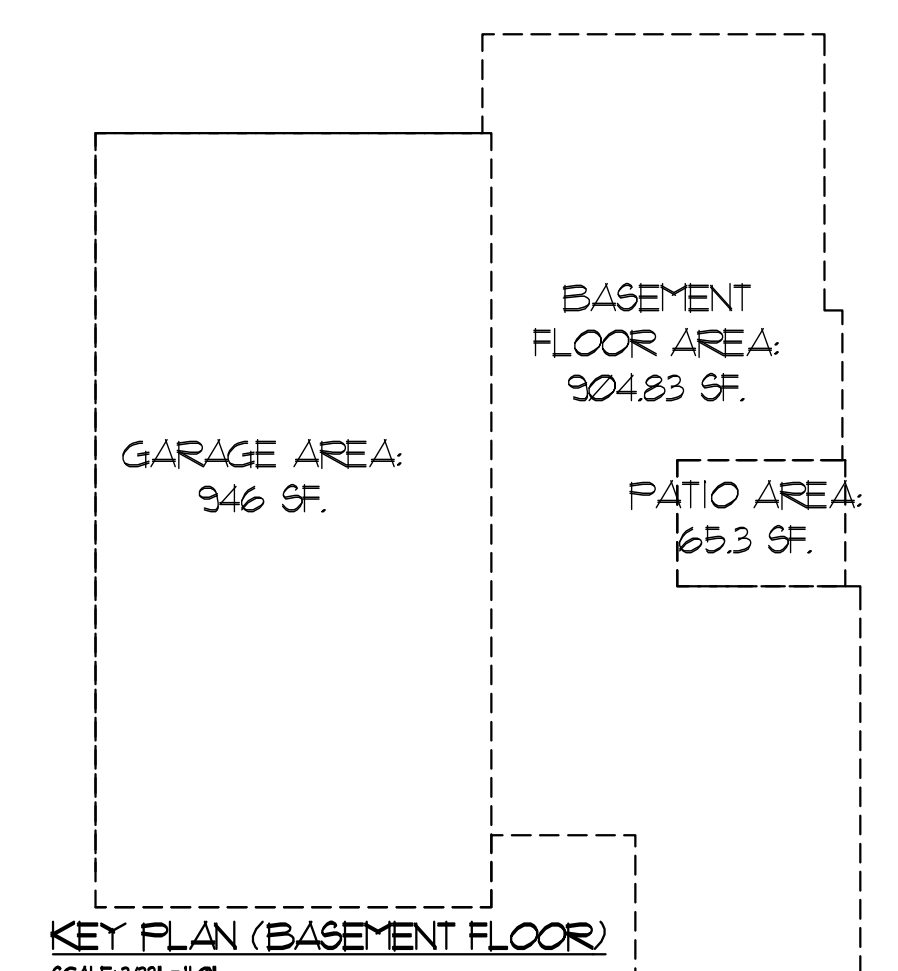
Director of Planning & Development

GENERAL NOTES

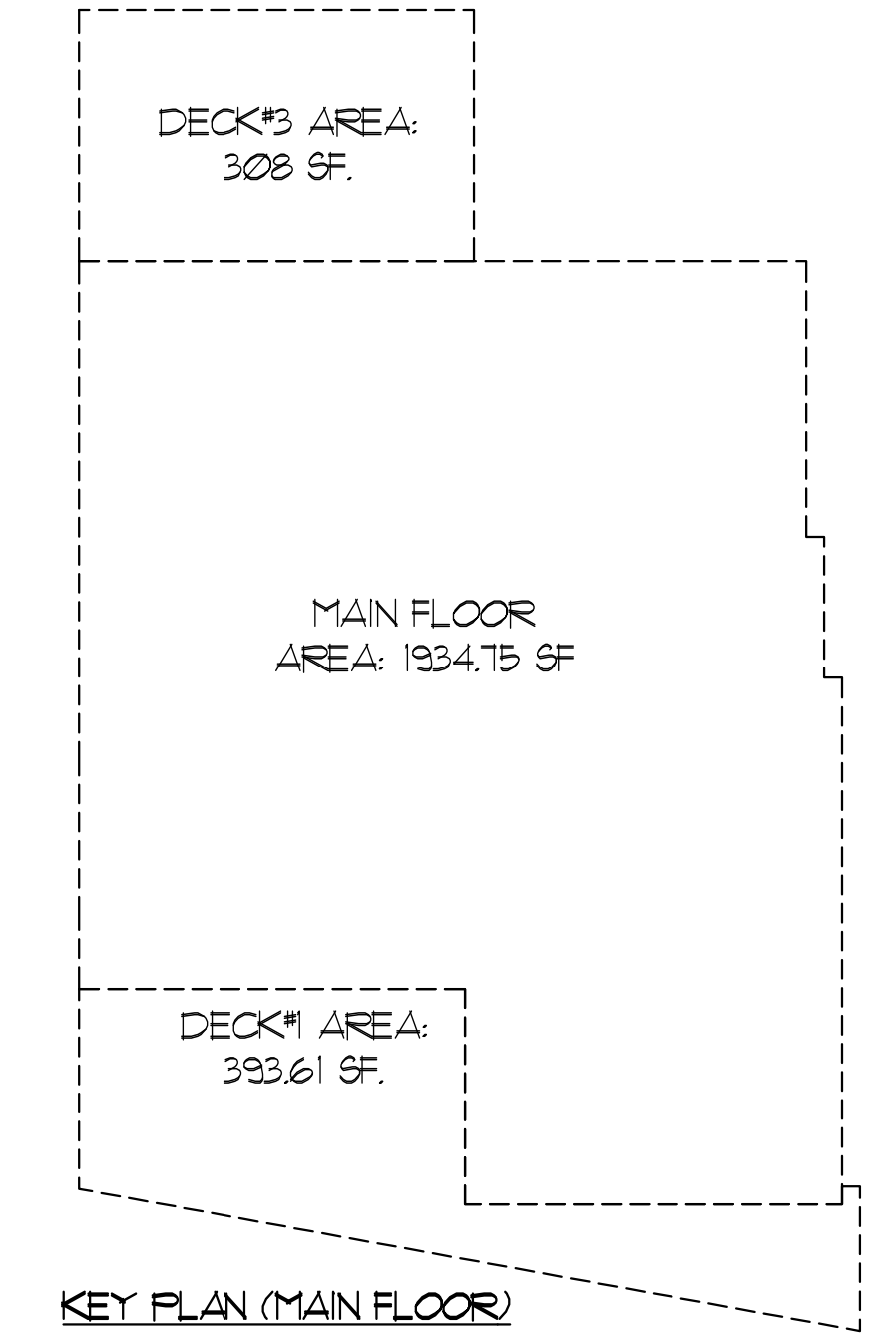
- ALL WORK AND MATERIALS TO CONFORM TO STANDARDS AND REQUIREMENTS OF THE BRITISH COLUMBIA BUILDING CODE (B.C.B.C.) 2018.
 - ALL DRAWINGS MUST BE APPROVED BY CITY/MUNICIPAL AUTHORITIES HAVING JURISDICTION AND HAVE APPLICABLE PERMITS ISSUED BEFORE STARTING CONSTRUCTION.
 - BUILDER MUST ENSURE THAT ALL WORK PERFORMED ON SITE COMPLIES WITH WORKERS COMPENSATION BOARD'S REQUIREMENTS AND STANDARDS. BUILDER MUST NOTIFY HIS ENGINEER BEFORE AND AFTER EXCAVATION AND OBTAIN CERTIFICATION FROM THE ENGINEER BEFORE ANY WORKERS ARE ALLOWED TO WORK IN THE EXCAVATED AREA. SUCH CERTIFICATION MUST BE POSTED ON SITE AT A PROMINENT LOCATION AND UPDATED BY THE ENGINEER AT REGULAR INTERVALS.
 - SUB-CONTRACTORS AND/OR SUB-TRADES RESPONSIBLE FOR ON SITE EXECUTION OF WORK THESE DRAWINGS DETAIL, ARE TO CHECK AND VERIFY ALL DRAWINGS FOR ERRORS AND OMISSIONS BEFORE ORDERING MATERIALS OR STARTING WORK. CONTRACTOR TO NOTIFY SEL ENGINEERING LTD. IMMEDIATELY OF ANY CHANGES OR OMISSIONS.
 - TRUSS DESIGN MUST BE COMPLETED BEFORE FORM CONSTRUCTION AND ENLARGED FOOTINGS AS DESIGNED BY STRUCTURAL ENGINEER PURSUANT TO TRUSS POINT LOADS MAY BE REQUIRED.
 - ALL POINT LOADS MUST BE FULLY SUPPORTED DOWN TO FOUNDATION THE WIDTH OF SUPPORTING COLUMNS SHALL NOT BE LESS THAN THE WIDTH OF THE SUPPORTED MEMBER (917.11). ALL POINT LOADS FROM TRUSSES MUST BE STRUCTURALLY SUPPORTED BY COLUMNS OR ENGINEERED BEAMS AND DOUBLE CRIPPLE STUDS AS DESIGNED BY STRUCTURAL ENGINEER.
 - CONTRACTORS, SUB-CONTRACTORS AND/OR SUB-TRADES SHALL INSURE THAT ANY CONCENTRATED LOAD WHICH MAY ARISE DURING CONSTRUCTION WHETHER OR NOT IT HAS BEEN SPECIFICALLY DETAILED, SHALL BE SUPPORTED ACCORDING TO GOOD PRACTICE AND THAT THE METHOD OF SUPPORT, AS WELL AS ALL MEMBERS SUPPORTING SUCH LOADS, SHALL FIRST BE APPROVED BY THE AUTHORITY HAVING JURISDICTION AND/OR A PROFESSIONAL ENGINEER AND SHALL CONFORM TO THE B.C.B.C. BEFORE SUCH LOADING SHALL BE ALLOWED TO OCCUR.
 - ALL BEAM SIZES TO BE CONFIRMED OR DESIGNED BY PROFESSIONAL ENGINEER.
 - BEAMS WHICH EXCEED SPECIFICATIONS OF THE B.C.B.C. MUST BE CHECKED AND VERIFIED BY A STRUCTURAL ENGINEER BEFORE STARTING CONSTRUCTION.
 - FRAMING MATERIAL TO BE DOUGLAS FIR NO. 2 OR BETTER GRADE (93.22), UNLESS NOTED OTHERWISE BY A PROFESSIONAL ENGINEER.
 - ALL LINTELS TO BE MIN. 2-2X10 D.F. NO. 2 UNLESS OTHERWISE NOTED (93.23.3).
 - CONCRETE TO BE MIN. 25 MPa # 28 DAYS, 100 MM SLUMP UNLESS OTHERWISE DESIGNED BY STRUCTURAL ENGINEER (93.1).
 - FOUNDATION WALLS NOT LATERALLY SUPPORTED HIGHER THAN 4'-0" FROM SLAB TO GRADE AND NON-LATERALLY SUPPORTED WALLS GREATER THAN 1'-6" FROM SLAB TO GRADE MUST BE REINFORCED.
 - ALL FOOTINGS SHALL EXTEND BELOW FROST LEVEL TO SUITABLE BEARINGS. IF SUITABLE BEARINGS CANNOT BE OBTAINED A PROFESSIONAL SOILS ENGINEER SHOULD BE CONSULTED.
 - GUARDS SHALL CONFORM TO 93.8.
 - ALL EXTERIOR GUARDRAILS TO BE 42" HIGH (36" IF DIFFERENCE IN ELEVATION IS LESS THAN 6 FT).
 - ALL INTERIOR GUARDRAILS TO BE 36" HIGH.
 - ALL HANDRAILS 315" TO 38" HIGH (93.7.1).
 - ALL EXTERIOR DOORS TO BE SOLID CORE AND WEATHER STRIPPED.
 - INSTALL C.S.A. APPROVED SMOKE ALARMS AND CO2 DETECTORS ON ALL FLOOR LEVELS TO CEILINGS OF HALLWAYS SERVING SLEEPING AREAS (910.8).
 - PROVIDE VENTILATION FOR THE DUELLING IN ACCORDANCE WITH (932).
 - ROOF ACCESS MIN. 20" X 215" (912.1) VENTING MIN. (1300) (913.12).
 - SECURITY BLOCKS FOR 2 STUD SPACES BY ALL EXTERIOR DOORS (93.8.3).
 - WATERPROOF BACKING (AQUA BOARD) TO BE USED FOR ALL BATHTUBS AND SHOWER ENCLOSURES.
 - INSULATION AND VAPOUR BARRIER TO CONFORM TO PART 5 AND PART 936. PROVIDE INSULATION VAPOUR BARRIER AND GYPROC FOR FIREPLACE AND B VENT SHAFTS.
 - STAIR RISE AND RUN TO CONFORM TO 93.3.1. HEADROOM MIN. 6'-5" (1584) (933.4).
 RISE 431" - 1831" (1254" - 3584")
 RUN 821" - 14" (2104" - 3584")
 TREAD 921" - 14" (2354" - 3584")
 - BUILDINGS WITH ATTACHED GARAGE - ALL WALLS AND CEILING SEPARATING ATTACHED GARAGE AND DUELLING MUST BE INSULATED, BE AIR TIGHT, HAVE TWO LAYERS OF DRYWALL, STAGGERED JOISTS ON THE GARAGE SIDE AS A GAS BARRIER. DOORS SEPARATING GARAGE AND DUELLING MUST BE SOLID CORE, LEATHER STRIPPED AND WITH SELF-CLOSING DEVICES.
 - WINDOWS AND SKYLIGHTS - ALL WINDOWS SHALL CONFORM TO WINDOW STANDARDS AS PER 912.1 AND GLASS STANDARDS AS PER 913. SKYLIGHTS SHALL CONFORM TO STANDARDS AS PER 917.1. WINDOWS LOCATED WITHIN 3 FT OF EXTERIOR DOOR LOCKS SHALL HAVE SAFETY GLASS W/RED GLASS OR TEMPERED GLASS. ALL WINDOWS AND DOORS SHALL HAVE A U FACTOR NO GREATER THAN 1.8 W/m²K. ALL SKYLIGHTS SHALL HAVE A U FACTOR NO GREATER THAN 2.5 W/m²K.
 - DECK OVER HABITABLE AREA - PROVIDE 2X4 CROSS FURLIN AT 16" O.C. ON DECK JOIST AND CROSS VENTILATION EXCEPT FOR BUILD-UP ROOFING (TAR AND GRAVEL). ALL OTHER WATER-PROOFING MEMBRANE MUST BE AN APPROVED PRODUCT AND BE CERTIFIED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER.
 - STARTING WORK SHALL IMPLY ACCEPTANCE OF THESE TERMS AND SHALL MEAN ACCEPTANCE OF ALL SPECIFICATIONS DIMENSIONS AND REQUIREMENTS AS WELL AS ALL SURFACES AND CONDITIONS AS BEING SUITABLE TO RECEIVE SAID WORK.
 - DO NOT SCALE DRAWINGS.
 - MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS PLACED WITHIN AND PARALLEL TO AN EXTERIOR WALL ARE TO BE INSULATED TO THE EFFECTIVE THERMAL RESISTANCE REQUIRED FOR THE WALL AT THE PROJECTED AREA OF THE SYSTEM COMPONENT.
 - AIR BARRIERS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 936.2.5 AND 936.2.10.
 - HYAC. AND SERVICE WATER EQUIPMENT TO CONFORM TO SECTION 936.
 - ALL NON-GASKET DEVICES INSTALLED IN INSULATED ASSEMBLIES ARE TO BE PROVIDED WITH BACKING TO ALLOW SEALING OF SHEET POLY TO POLY BOOTHS.
- ATTENTION**
 IN THE CASE OF RENOVATIONS THESE DRAWINGS WERE DERIVED FROM AS-BUILT SKETCHES AND/OR ON-SITE DIMENSION TAKEOFFS. DUE TO THE FACT THAT SOME SURFACES AND AREAS AFFECTED ARE HIDDEN PRIOR TO COMPLETION OF THESE DRAWINGS CONTRACTORS SHALL NOTIFY SEL ENGINEERING LTD. AND ADJUST AFFECTED AREAS ON SITE AS NECESSARY.



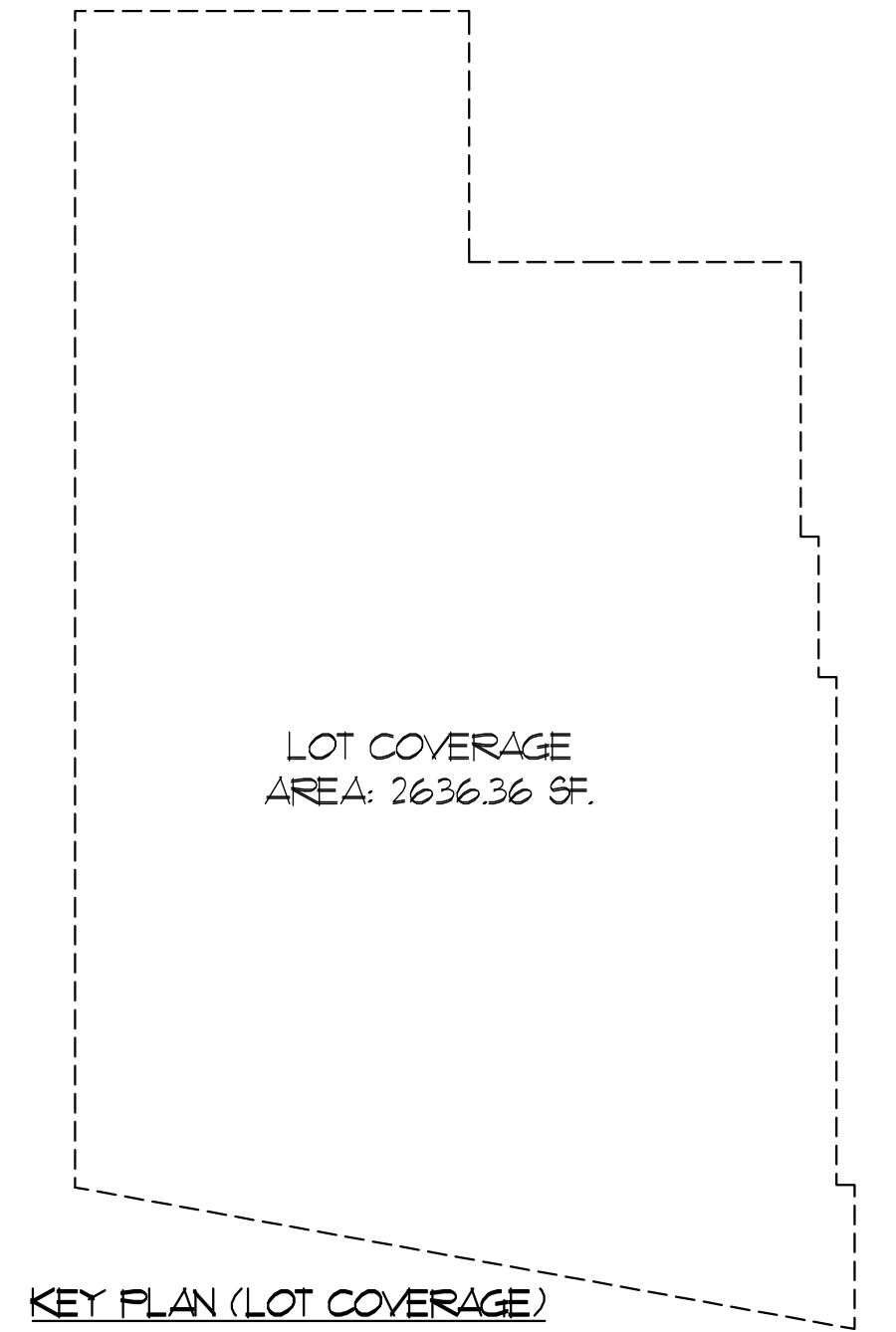
SITE PLAN
 SCALE: 1/8" = 1'-0"



KEY PLAN (BASEMENT FLOOR)
 SCALE 3/32" = 1'-0"



KEY PLAN (MAIN FLOOR)
 SCALE 3/32" = 1'-0"



KEY PLAN (LOT COVERAGE)
 SCALE 3/32" = 1'-0"

ZONING SUMMARY:

CIVIC ADDRESS: 4686 SUNSHINE COAST HIGHWAY, SECHLT, B.C.
 LEGAL DESCRIPTION: LOT 3 BLOCK 4 DISTRICT LOT 1356 PLAN 1006
 ZONING: R-1

SITE AREA: 755.14m² (8128.29 SF.)
 SITE DIMENSIONS: 13.02 m x 41.3 m

RENOVATION / ADDITION

DESCRIPTION:	ALLOWED:	PROPOSED:
SETBACKS		
FRONT YARD:	5.0m (16.04')	18.66m (61.22')
REAR YARD:	5.0m (16.04')	7.63m (25.05')
LEFT SIDE YARD (INTERIOR):	1.5m (4.92')	1.5m (4.92')
RIGHT SIDE YARD (INTERIOR):	1.5m (4.92')	1.5m (4.94')
MAX. BUILDING HEIGHT:	8.5m (27.88')	8.89m (29.16')

MAX. LOT COVERAGE (ALL STRUCTURE):
 ALLOWED 35% 264.29m² (2844.9 SF.)
 PROPOSED 32.43% 244.92m² (2636.36 SF.)

HOUSE:

	PROPOSED:
UPPER FLOOR:	1801.13 SF.
MAIN FLOOR:	1934.75 SF.
BASEMENT FLOOR:	904.83 SF.
GARAGE:	946 SF.
DECK#1:	393.61 SF.
DECK#2:	3506.1 SF.
DECK#3:	308 SF.
PATIO:	65.3 SF.

REVISIONS:

NO.	DESCRIPTION	DATE
6	VARIANCE	28.08.2024
5	REVISION	26.02.2024
4	REVISION	12.01.2023
3	REVISION	26.21.2023
2	REVISION	25.31.2023
1	ISSUED FOR BLDG. PERMIT	22.23.2023

SEL Engineering Limited
 Consulting Engineers

201, 3003 ST. JOHN'S STREET
 FORT MOODY, BC V3H 2C4
 TELEPHONE: 604.4693173
 FACSIMILE: 604.4693101
 E-MAIL: SEL@SEL.ENG.CM

SEAL:

(PERMIT NUMBER: 1003524)

(C) COPYRIGHT RESERVED.
 THIS PLAN AND DESIGN ARE, AND AT ALL TIMES, THE EXCLUSIVE PROPERTY OF SEL ENGINEERING LIMITED. REPRODUCTION OR USE WITHOUT WRITTEN CONSENT IS PROHIBITED. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON PROJECT AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING. DO NOT SCALE DRAWING.

PROJECT TITLE:
 NEW SINGLE FAMILY RESIDENCE AT:
 4686 SUNSHINE COAST HIGHWAY, SECHLT, B.C.

DRAWING TITLE:
 GENERAL NOTES
 SITE PLAN
 ZONING SUMMARY
 KEY PLANS

DESIGNED BY:	CMC
CHECKED BY:	CMC
DRAWN BY:	GD
PROJECT NO:	C22124
DATE:	02.23.2023
SCALE:	AS SHOWN
DRAWING NO:	

A-1

THESE DRAWINGS COMPLY TO THE 2018 B.C.B.C.

REVISIONS:		
1	VARIANCE	08.08.2024
6	REVISION	06.02.2024
5	REVISION	12.01.2023
4	REVISION	07.24.2023
3	REVISION	06.21.2023
2	REVISION	05.31.2023
1	ISSUED FOR BLDG. PERMIT	02.23.2023



207, 3003 ST. JOHN'S STREET
FORT MOODY, BC V3H 2C4
TELEPHONE: 604.469.3173
FACSIMILE: 604.469.3101
E-MAIL: SEL@SEL.ENG.COM

SEAL:

(C) COPYRIGHT RESERVED.
THIS PLAN AND DESIGN ARE, AND AT ALL TIMES, THE EXCLUSIVE PROPERTY OF SEL ENGINEERING LIMITED. REPRODUCTION OR USE WITHOUT WRITTEN CONSENT IS PROHIBITED. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON PROJECT AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING. DO NOT SCALE DRAWING.

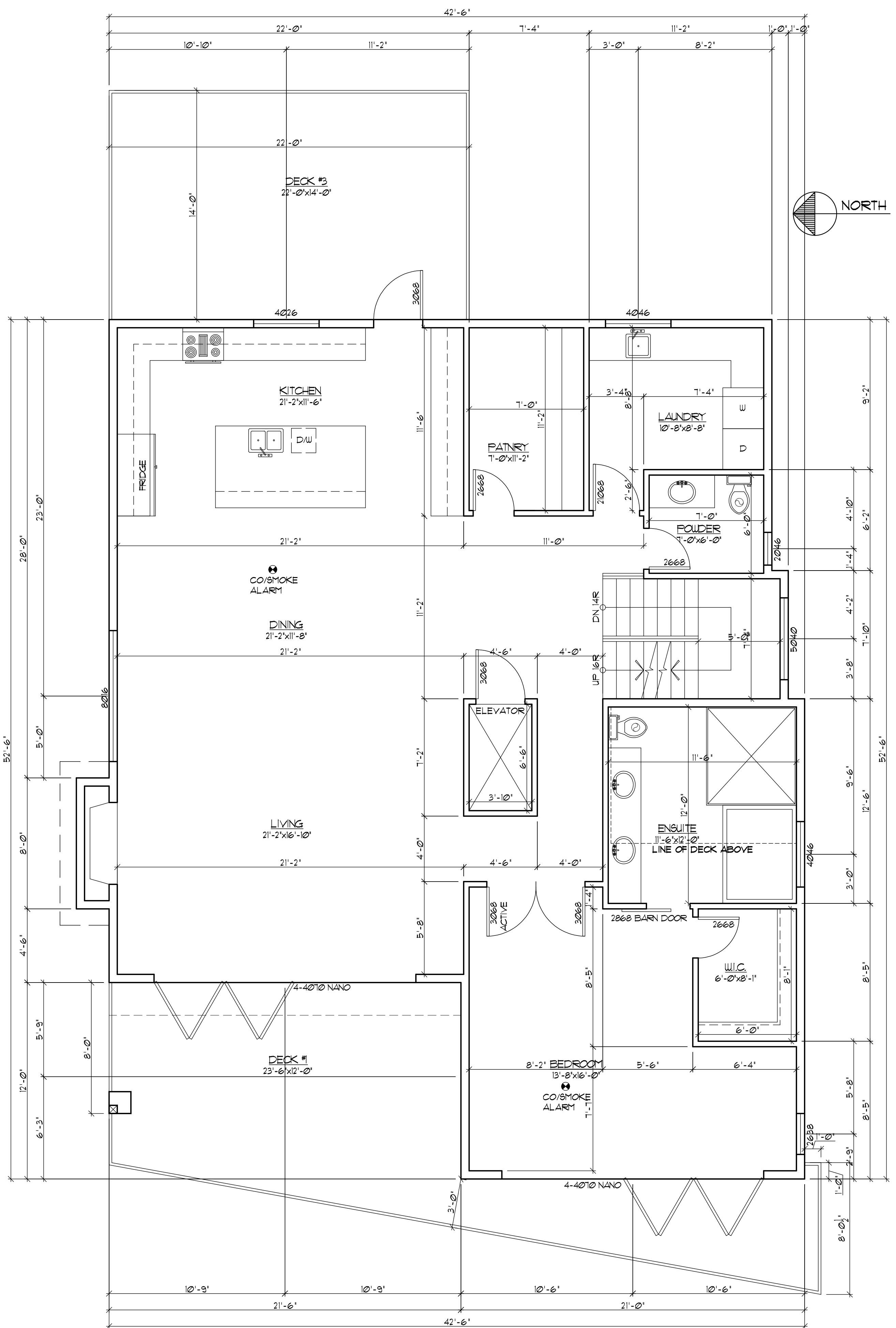
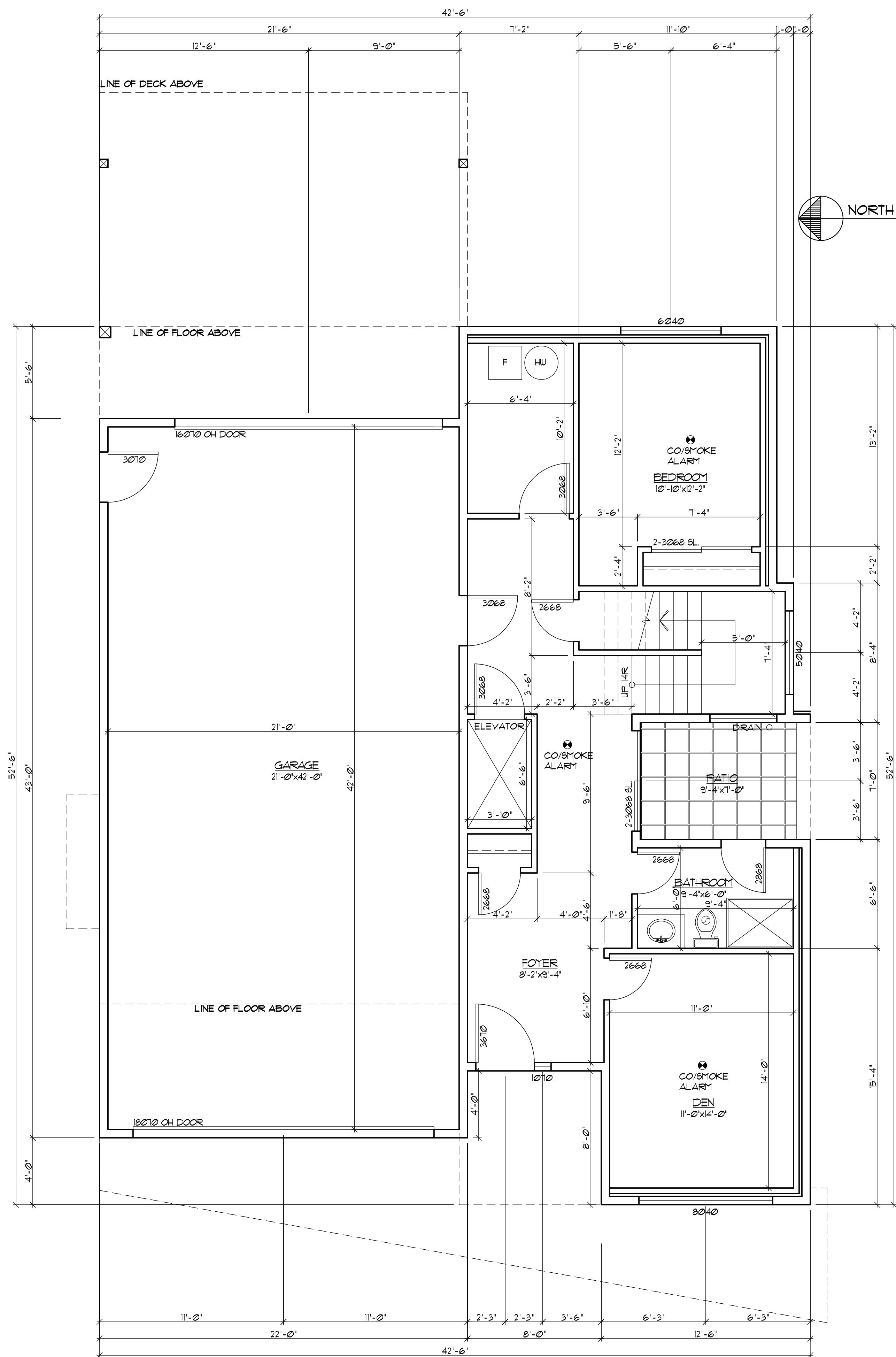
PROJECT TITLE:
NEW SINGLE FAMILY RESIDENCE
AT:
4686 SUNSHINE COAST HIGHWAY,
SECHLT, B.C.

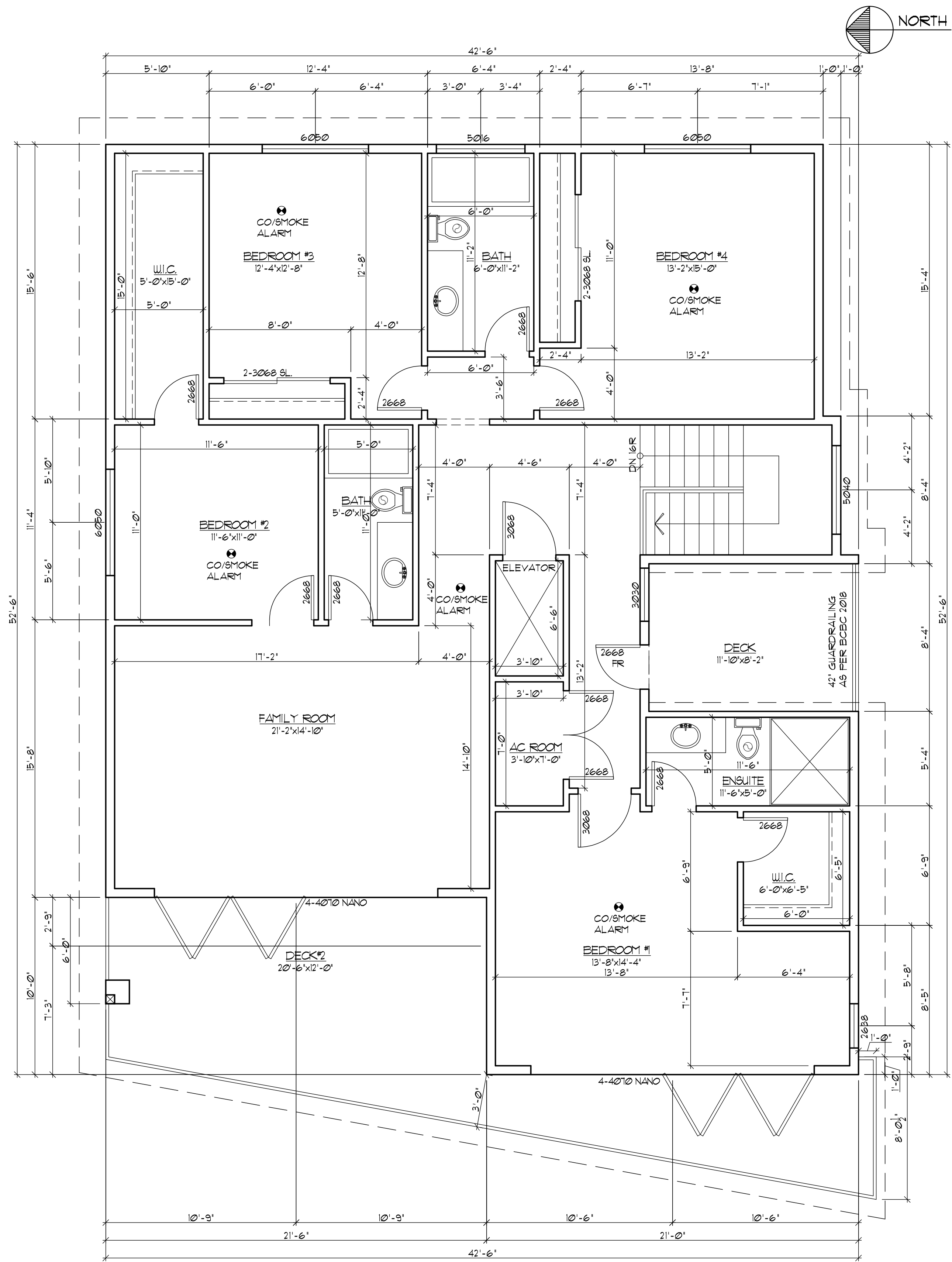
DRAWING TITLE:
BASEMENT FLOOR PLAN
MAIN FLOOR PLAN

DESIGNED BY:	CMC
CHECKED BY:	CMC
DRAWN BY:	GD
PROJECT NO:	C22124
DATE:	02.23.2023
SCALE:	AS SHOWN
DRAWING NO:	

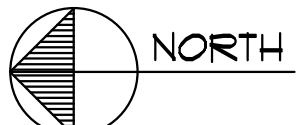
A-2

THESE DRAWINGS COMPLY TO THE 2018 BCBC





UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 UPPER FLOOR AREA: 1001.13 SF.
 DECK#2 AREA: 350.61 SF.



REVISIONS:		
6	VARIANCE	28.08.2024
4	REVISION	2.07.2023
3	REVISION	26.21.2023
2	REVISION	25.31.2023
1	ISSUED FOR BLDG. PERMIT	22.23.2023



107, 3003 ST. JOHNS STREET
 FORT MOODY, BC V3H 2C4
 TELEPHONE: 604.469.3123
 FACSIMILE: 604.469.3101
 E-MAIL: SEL@SELENG.COM

SEAL:

(C) COPYRIGHT RESERVED.
 THIS PLAN AND DESIGN ARE, AND AT ALL TIMES, THE EXCLUSIVE PROPERTY OF SEL ENGINEERING LIMITED. REPRODUCTION OR USE WITHOUT WRITTEN CONSENT IS PROHIBITED. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON PROJECT AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING. DO NOT SCALE DRAWING.

PROJECT TITLE:
 NEW SINGLE FAMILY RESIDENCE
 AT:
 4686 SUNSHINE COAST HIGHWAY,
 SECHLT, B.C.

DRAWING TITLE:
 UPPER FLOOR PLAN

DESIGNED BY: CMC
 CHECKED BY: CMC
 DRAWN BY: GD
 PROJECT NO: C22124
 DATE: 02.23.2023
 SCALE: AS SHOWN
 DRAWING NO:

A-3

REVISIONS:		
6	VARIANCE	08.08.2024
5	REVISION	06.02.2024
4	REVISION	12.01.2023
3	REVISION	06.21.2023
2	REVISION	05.25.2023
1	ISSUED FOR BLDG. PERMIT	02.23.2023



201, 3003 ST. JOHNS STREET
FORT MOODY, BC V3H 2C4
TELEPHONE: 604.469.3113
FACSIMILE: 604.469.3101
E-MAIL: SEL@SELENG.COM

SEAL:

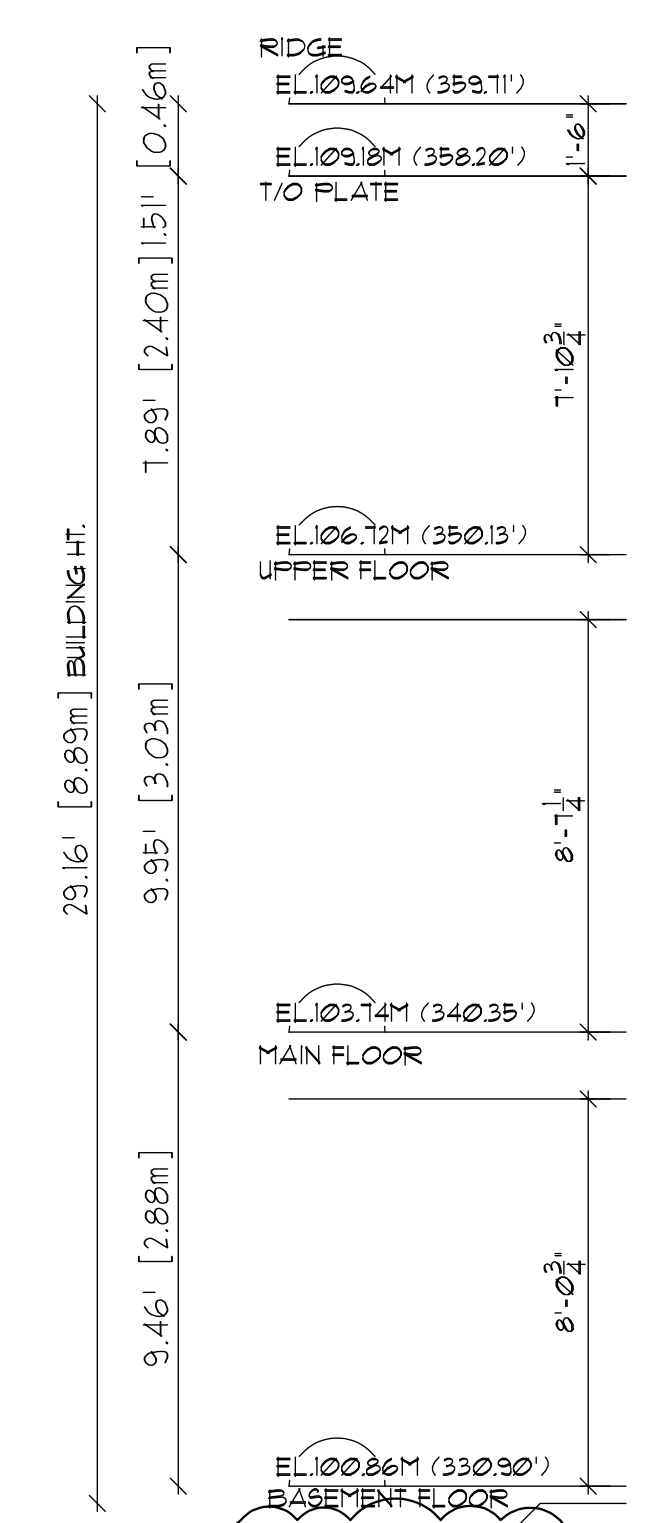
(C) COPYRIGHT RESERVED.
THIS PLAN AND DESIGN ARE, AND AT ALL TIMES, THE EXCLUSIVE PROPERTY OF SEL ENGINEERING LIMITED. REPRODUCTION OR USE WITHOUT WRITTEN CONSENT IS PROHIBITED. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON PROJECT AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING. DO NOT SCALE DRAWING.

PROJECT TITLE:
NEW SINGLE FAMILY RESIDENCE
AT:
4686 SUNSHINE COAST HIGHWAY,
SECHelt, B.C.

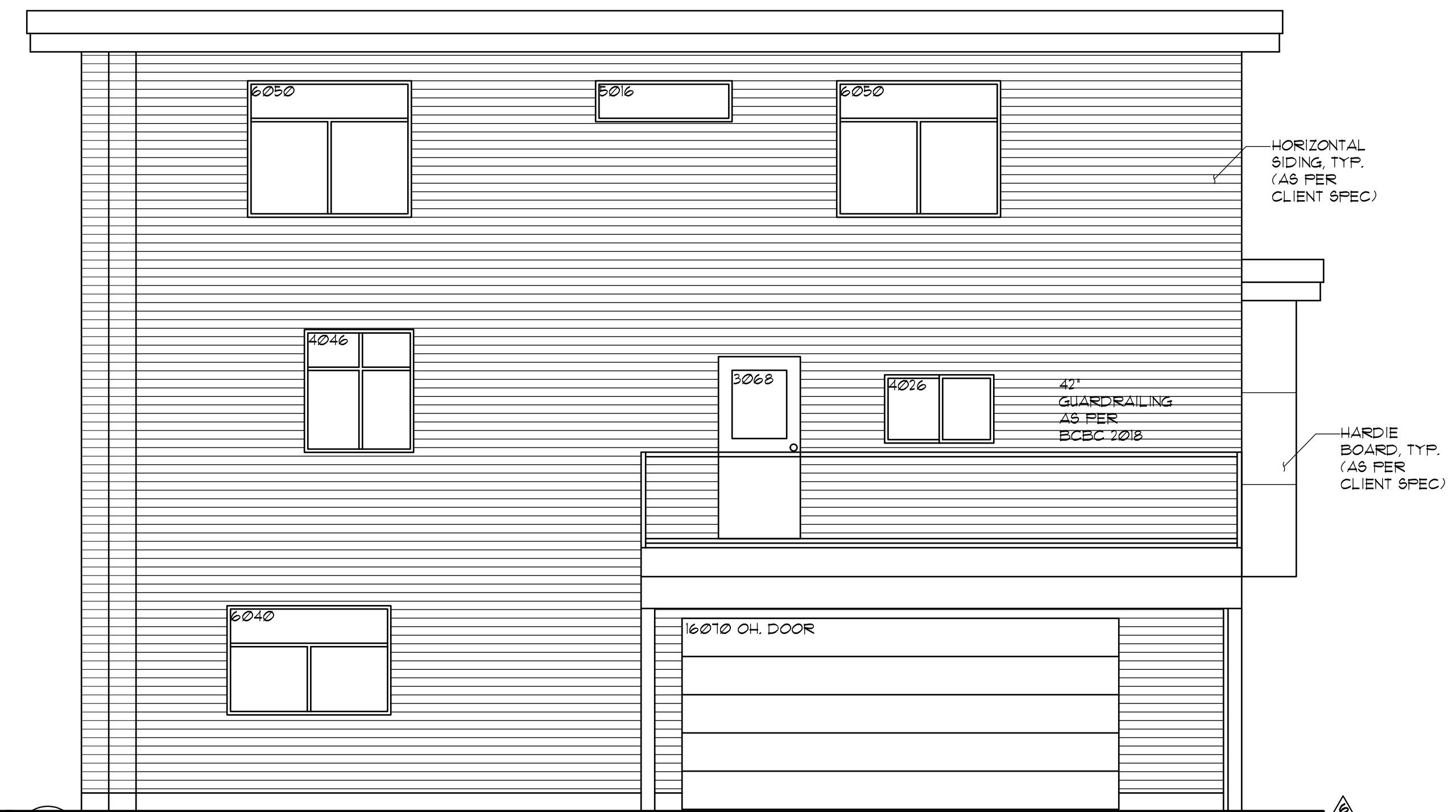
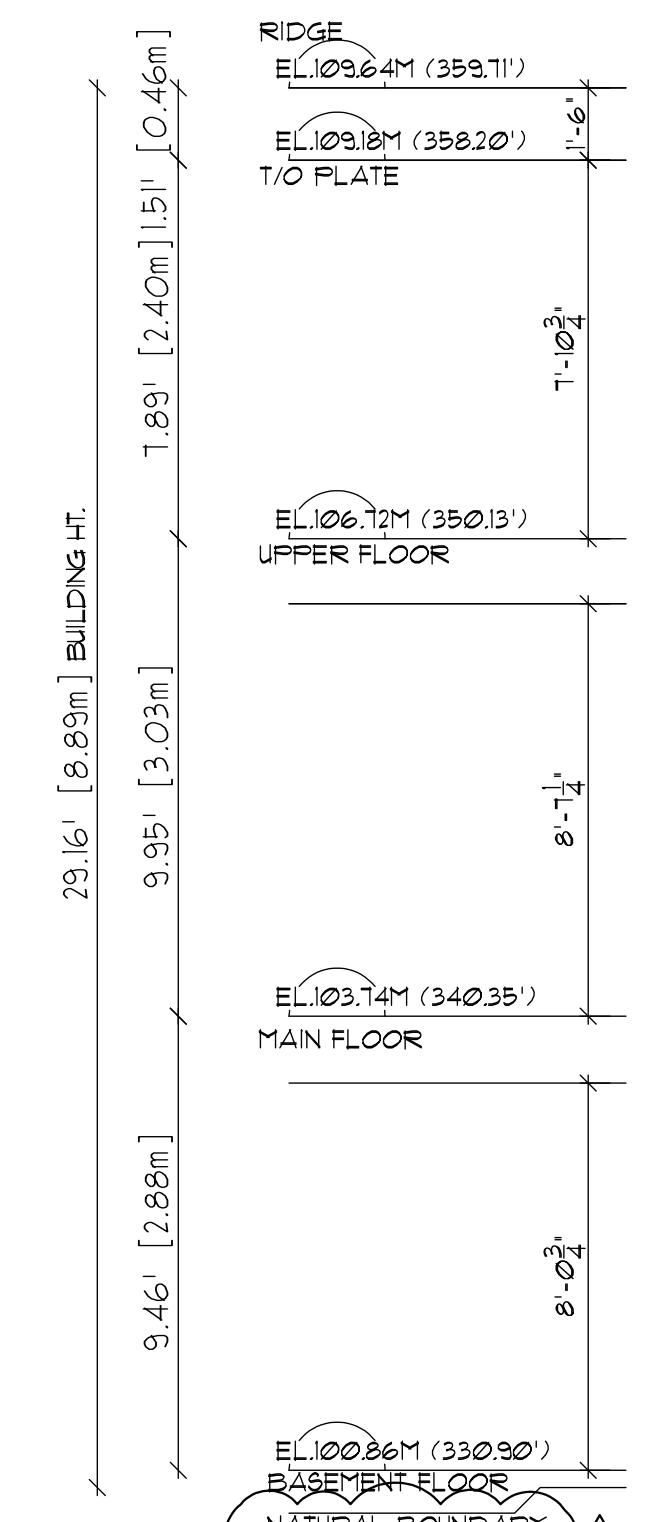
DRAWING TITLE:
FRONT ELEVATION
REAR ELEVATION

DESIGNED BY: CMC
CHECKED BY: CMC
DRAWN BY: GD
PROJECT NO: C22124
DATE: 02.23.2023
SCALE: AS SHOWN
DRAWING NO:

A-4



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS:		
6	VARIANCE	28.08.2024
5	REVISION	26.07.2024
4	REVISION	27.12.2023
3	REVISION	26.21.2023
2	REVISION	25.25.2023
1	ISSUED FOR BLDG. PERMIT	22.23.2023



101, 3003 ST. JOHNS STREET
FORT MOODY, BC V3H 2C4
TELEPHONE: 604.469.3123
FACSIMILE: 604.469.3101
E-MAIL: SEL@SELENG.COM

SEAL:

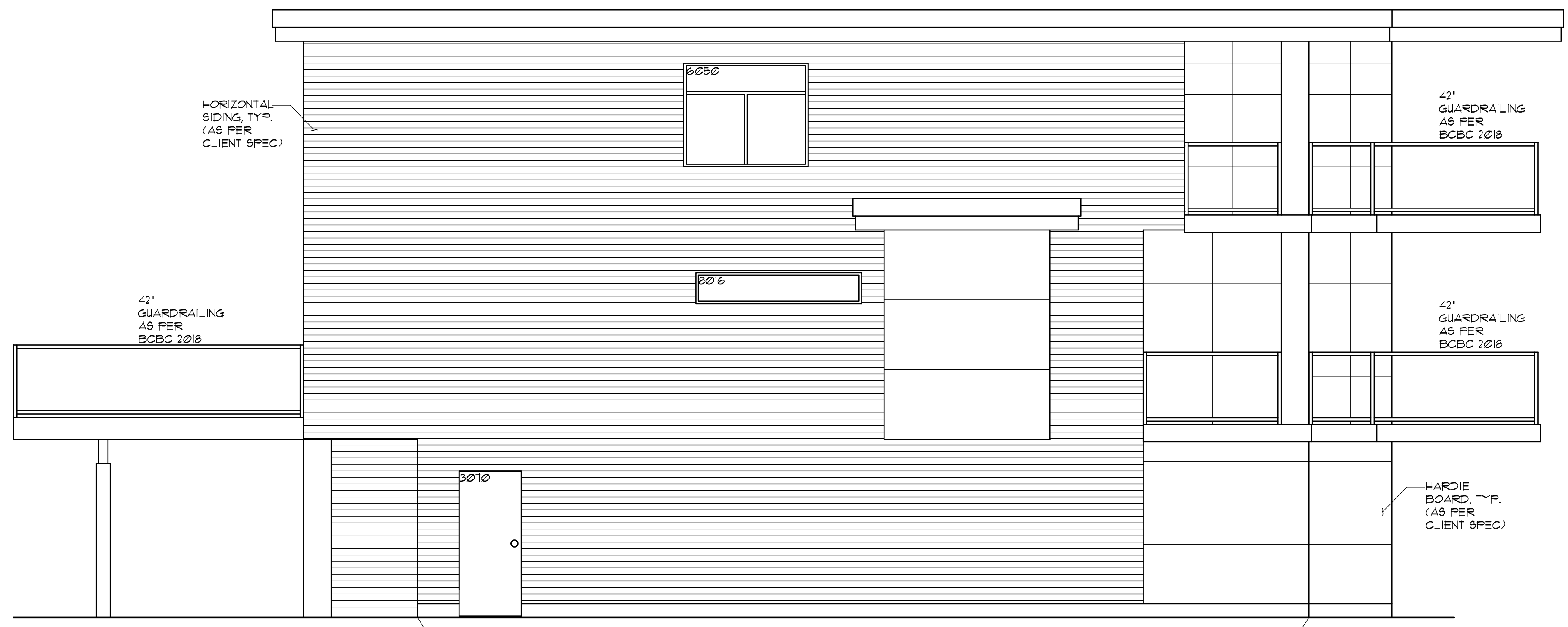
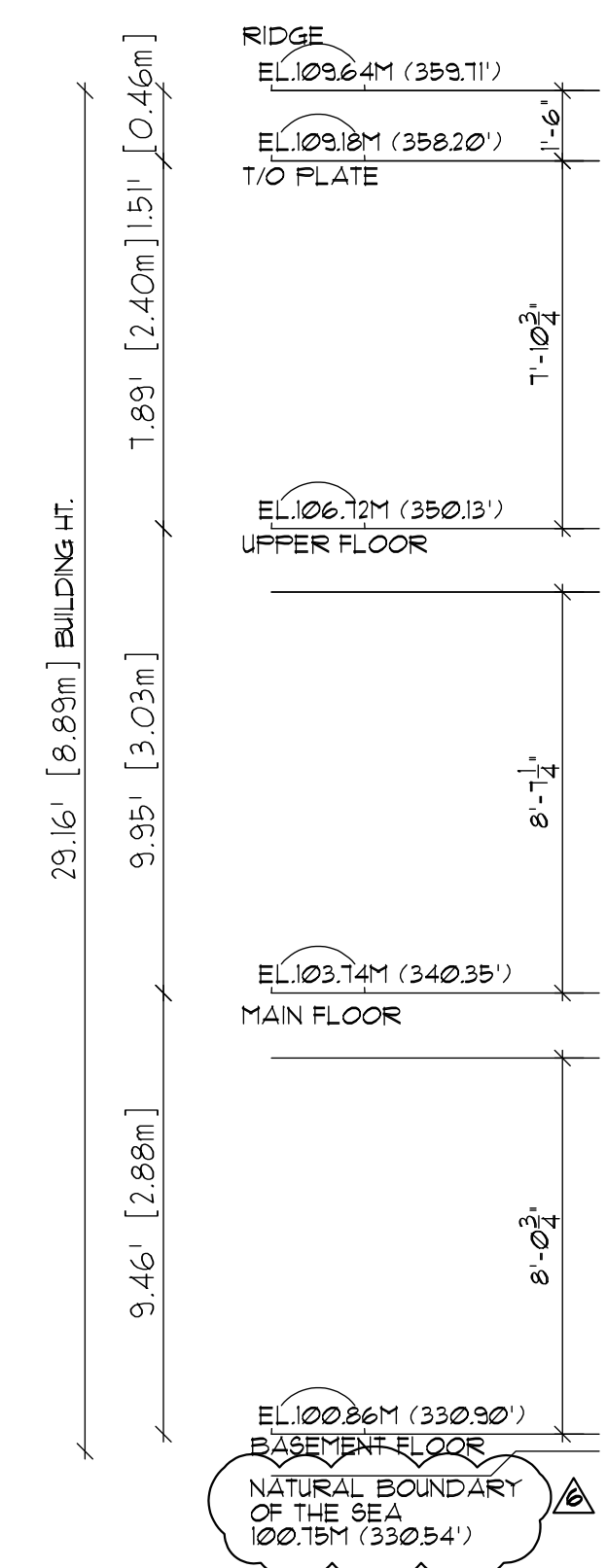
(C) COPYRIGHT RESERVED.
THIS PLAN AND DESIGN ARE, AND AT ALL TIMES, THE EXCLUSIVE PROPERTY OF SEL ENGINEERING LIMITED. REPRODUCTION OR USE WITHOUT WRITTEN CONSENT IS PROHIBITED. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON PROJECT AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING. DO NOT SCALE DRAWING.

PROJECT TITLE:
NEW SINGLE FAMILY RESIDENCE
AT:
4686 SUNSHINE COAST HIGHWAY,
SECHLT, B.C.

DRAWING TITLE:
LEFT ELEVATION
RIGHT ELEVATION

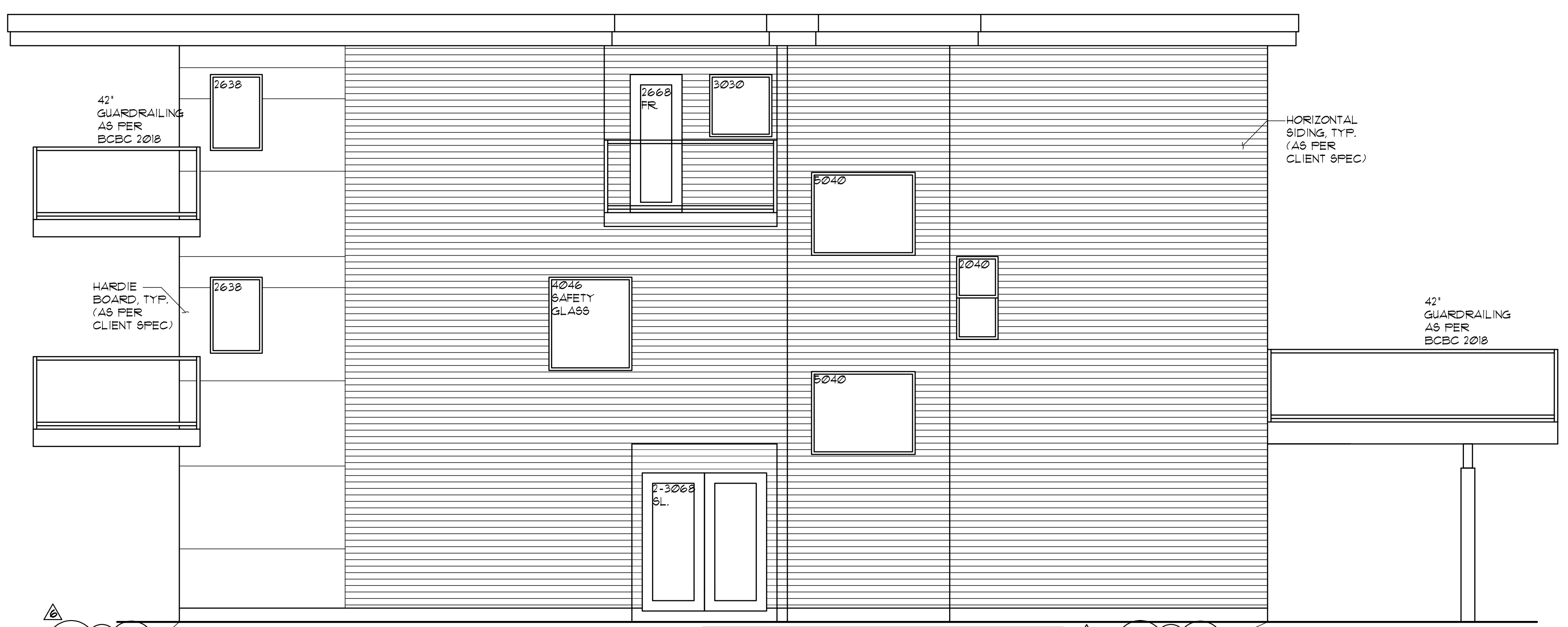
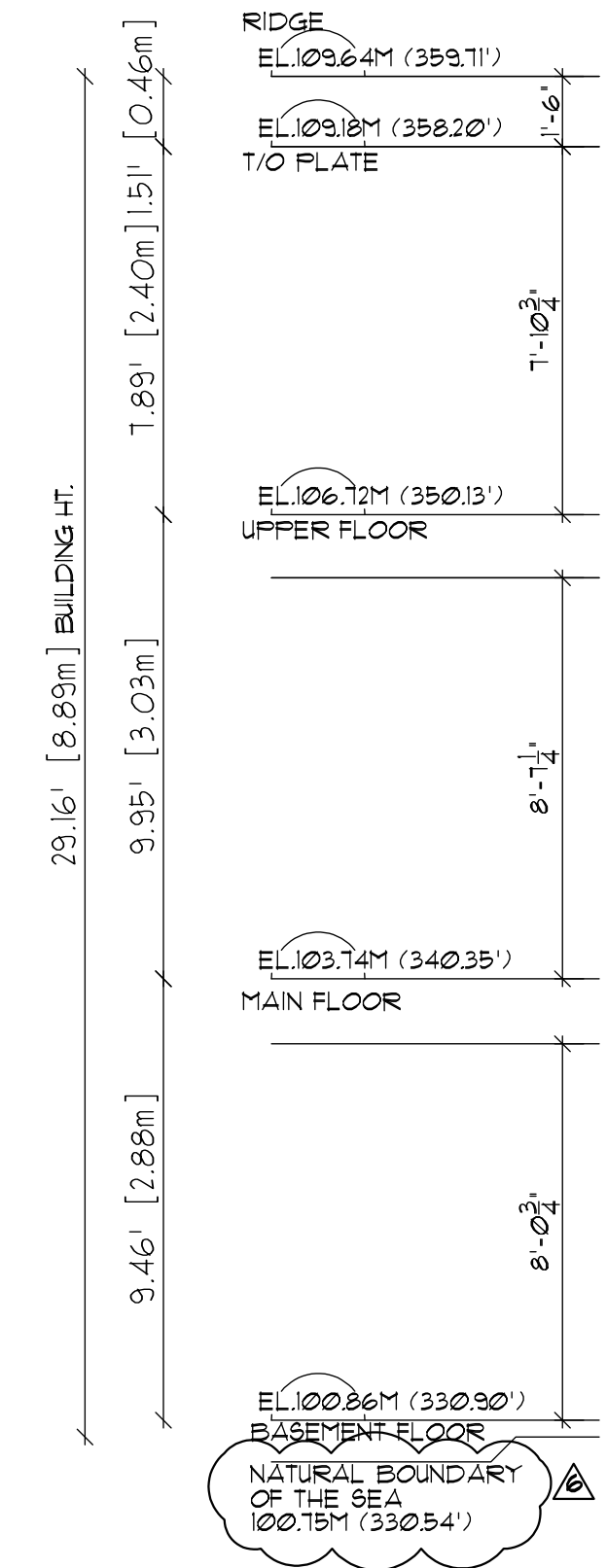
DESIGNED BY: CMC
CHECKED BY: CMC
DRAWN BY: GD
PROJECT NO: C22124
DATE: 02.23.2023
SCALE: AS SHOWN
DRAWING NO:

A-5



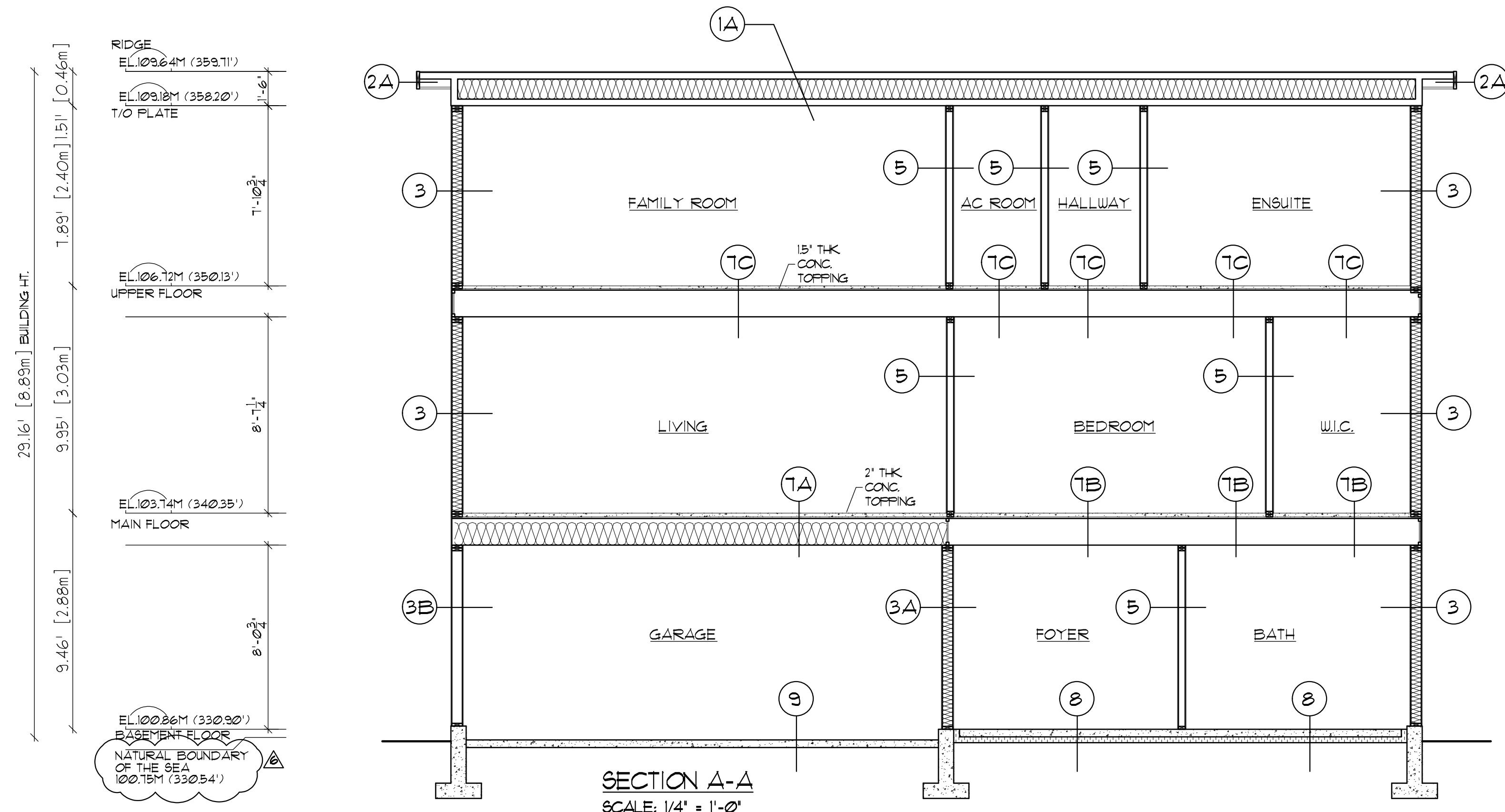
LEFT ELEVATION
SCALE: 1/4" = 1'-0"

MAX. UNPROTECTED OPENING AREA
AVG. DISTANCE (1.7m) 1.8%
TOTAL EXPOSED BLDG FACE: 110.91 SQFT. (10.32 SM.)
TOTAL UNPROTECTED OPENING AREA: 42 SQFT. (3.78%)



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

MAX. UNPROTECTED OPENING AREA
AVG. DISTANCE (1.7m) 1.8%
TOTAL EXPOSED BLDG FACE: 138.11 SQFT. (12.89 SM.)
TOTAL UNPROTECTED OPENING AREA: 93.33 SQFT. (6.74%)



SECTION A-A
SCALE: 1/4" = 1'-0"

BUILDING SPEC.

1A TYPICAL TRUSS ROOF (CEILING BELOW ATTICS.)

	Ef. RSI Value	Ef. R Value:
INTERIOR AIR FILM	0.11	0.62
1/2" THK GYPSUM WALL BOARD	0.08	0.45
6 MIL POLY V.B.		
PRE-FAB 2x4 TRUSSES @ 24" O.C.	1.41	8.33
R-40 FIBERGLASS INSULATION	5.72	32.45
1/2" OSB SHEATHING W/4-CLIPS		
15 ROOFING FELT		
ASPHALT SHINGLES		
TOTAL VALUE:	7.83	41.85
MIN. VALUE:	6.91	39.2

2A TYPICAL EAVE OVERHANG

APPROVED GUTTER
1x8 OR 2x10 LAYERED WOOD FASCIA BRDS
VENTED ALUMINUM OR VINYL SOFFIT OR
V-GROOVED 1x6 CEDAR SOFFIT
C/U VENT STRIP (REQ'D @ LARGE AREAS)

3 TYPICAL EXTERIOR WALLS (ABOVE GRADE WALL:)

	Ef. RSI Value	Ef. R Value:
INTERIOR AIR FILM	0.12	0.68
1/2" THK GYPSUM WALL BOARD	0.08	0.45
6 MIL POLY V.B.		
2x6 STUDS @ 16" O.C. c/w		
R-20 MIN. FIBERGLASS INSULATION	2.34	13.31
1/2" PLYWOOD SHEATHING	0.14	0.791
BUILDING PAPER	0.011	0.06
RAINSCREEN TO CODE		
1/2" PLYWOOD STRAPPING		
@16" O/C SPACING	0.15	0.82
HARD BOARD	0.017	0.096
EXTERIOR AIR FILM	0.03	0.17
TOTAL VALUE:	2.89	16.38
MIN. VALUE:	2.78	15.8

3A TYPICAL INTERIOR WALLS B/W HEATED & UNHEATED AREA (GARAGE)

	Ef. RSI Value	Ef. R Value:
INTERIOR AIR FILM	0.12	0.68
1/2" THK GYPSUM WALL BOARD	0.08	0.45
6 MIL POLY V.B.		
2x6 STUDS @ 16" O.C. c/w		
R-22 MIN. FIBERGLASS INSULATION	2.55	14.48
1/2" PLYWOOD SHEATHING	0.14	0.791
EXTERIOR AIR FILM	0.03	0.17
TOTAL VALUE:	2.92	16.58
MIN. VALUE:	2.78	15.8

3B TYPICAL EXTERIOR WALLS (GARAGE:)

1/2" PLYWOOD SHEATHING
2x6 STUDS @ 16" O.C.
6 MIL POLY V.B.
1/2" GYPSUM WALL BOARD

4 TYPICAL EXTERIOR FND. WALL FOOTING

4" PERIMETER DRAIN
6" MIN DRAIN ROCK
24"x8" CONCRETE STRIP FOOTING
8" ENG'D CONC. FOUNDATION WALL
ASPHALT EMULSION

5 TYPICAL INTERIOR WALLS

GYPSUM WALL BOARD BOTH SIDES
2x4 OR 2x6 STUDS @ 16" O.C.

6 TYPICAL BEARING WALL

2x6 OR 2x4 STUDS @ 16" O.C.
6" CONCRETE CURB
24"x8" CONCRETE STRIP FOOTING

7A TYPICAL FLOOR (OVER UNHEATED SPACES)

	Ef. RSI Value	Ef. R Value:
CARPET WITH FIBROUS PAD	0.22	1.25
INTERIOR AIR FILM	0.16	0.91
2" THK CONC. TOPPING		
3/4" TAG DFR PLYWOOD SUBFLOOR	0.166	0.94
1400' DP ENG'D FLOOR		
R28 FG. BATT INSULATION IN CAVITIES	4.079	23.19
1/2" GYPSUM BOARD OVER	0.03	0.17
EXTERIOR AIR FILM	0.03	0.45
TOTAL VALUE:	4.735	26.93
MIN. VALUE:	4.61	26.5

7B TYPICAL FLOOR

FINISH FLOORING
15" THK CONC. TOPPING
2" THK CONC. TOPPING
3/4" TAG PLYWOOD SHEATHING
(GLUED & NAILED)
1400' DP ENG'D FLOOR
JOISTS @12" OR 16" O/C
GYPSUM WALL BOARD

7C TYPICAL FLOOR

FINISH FLOORING
15" THK CONC. TOPPING
3/4" TAG PLYWOOD SHEATHING
(GLUED & NAILED)
1400' DP ENG'D FLOOR
JOISTS @12" OR 16" O/C
GYPSUM WALL BOARD

8 TYPICAL SLAB ON GRADE FLOOR (UNHEATED)

	Ef. RSI Value	Ef. R Value:
INTERIOR AIR FILM	0.16	0.91
4" CONCRETE SLAB	0.03	0.17
6 MIL POLY V.B.		
3" TYPE II EXPANDED POLYSTYRENE INSULATION	2.13	12.11
COMPACT GRANULAR FILL		
TOTAL VALUE:	2.32	13.19
MIN. VALUE:	1.96	5.46

9 NEW TYPICAL SLAB ON GRADE FLOOR (UNHEATED)

4" CONCRETE SLAB
COMPACT GRANULAR FILL

10 TYPICAL DECK

APPROVED WATERPROOF DECKING
5/8" TAG PLYWOOD SHEATHING (GLUED & NAILED)
2X SLIPPERS TO ACCOMMODATE DECK SLOPE
350' DP ENG'D DECK JOISTS

11 TYPICAL STAIRS

1" TREAD
1/2" RUN
1 1/2" +/- RISE
PROVIDE HANDRAIL @ 32-36" @ STAIRS
w/ 3 OR MORE RISERS
PROVIDE 6'-8" MIN. FINISHED HEADROOM

REVISIONS:

NO.	DESCRIPTION	DATE
6	VARIANCE	28.08.2024
5	REVISION	26.02.2024
4	REVISION	12.07.2023
3	REVISION	26.21.2023
2	REVISION	25.25.2023
1	ISSUED FOR BLDG. PERMIT	22.23.2023



207, 3003 ST. JOHN'S STREET
PORT MOODY, BC V3H 2C4
TELEPHONE: 604.469.3173
FACSIMILE: 604.469.3101
E-MAIL: SEL@SELENG.COM

SEAL:

(PERMIT NUMBER: 1003524)

(C) COPYRIGHT RESERVED.
THIS PLAN AND DESIGN ARE, AND AT ALL TIMES,
THE EXCLUSIVE PROPERTY OF SEL ENGINEERING
LIMITED. REPRODUCTION OR USE WITHOUT WRITTEN
CONSENT IS PROHIBITED. CONTRACTOR SHALL VERIFY
AND BE RESPONSIBLE FOR ALL DIMENSIONS AND
CONDITIONS ON PROJECT AND THIS OFFICE SHALL BE
INFORMED OF ANY VARIATIONS FROM DIMENSIONS
AND CONDITIONS SHOWN ON THE DRAWING. DO NOT
SCALE DRAWING.

PROJECT TITLE:
NEW SINGLE FAMILY RESIDENCE
AT:
4686 SUNSHINE COAST HIGHWAY,
SECHELT, B.C.

DRAWING TITLE:
SECTION A-A

DESIGNED BY: CMC
CHECKED BY: CMC
DRAWN BY: GD
PROJECT NO: C22124
DATE: 02.23.2023
SCALE: AS SHOWN
DRAWING NO:

A-6

THESE DRAWINGS COMPLY TO THE 2018 BCBC

REVISIONS:

1 ISSUED FOR BLDG. PERMIT 02.23.2023



7071, 3003 ST. JOHN'S STREET
FORT MOODY, BC V3H 2C4
TELEPHONE: 604.469.3723
FACSIMILE: 604.469.3707
E-MAIL: SEL@SELENG.COM

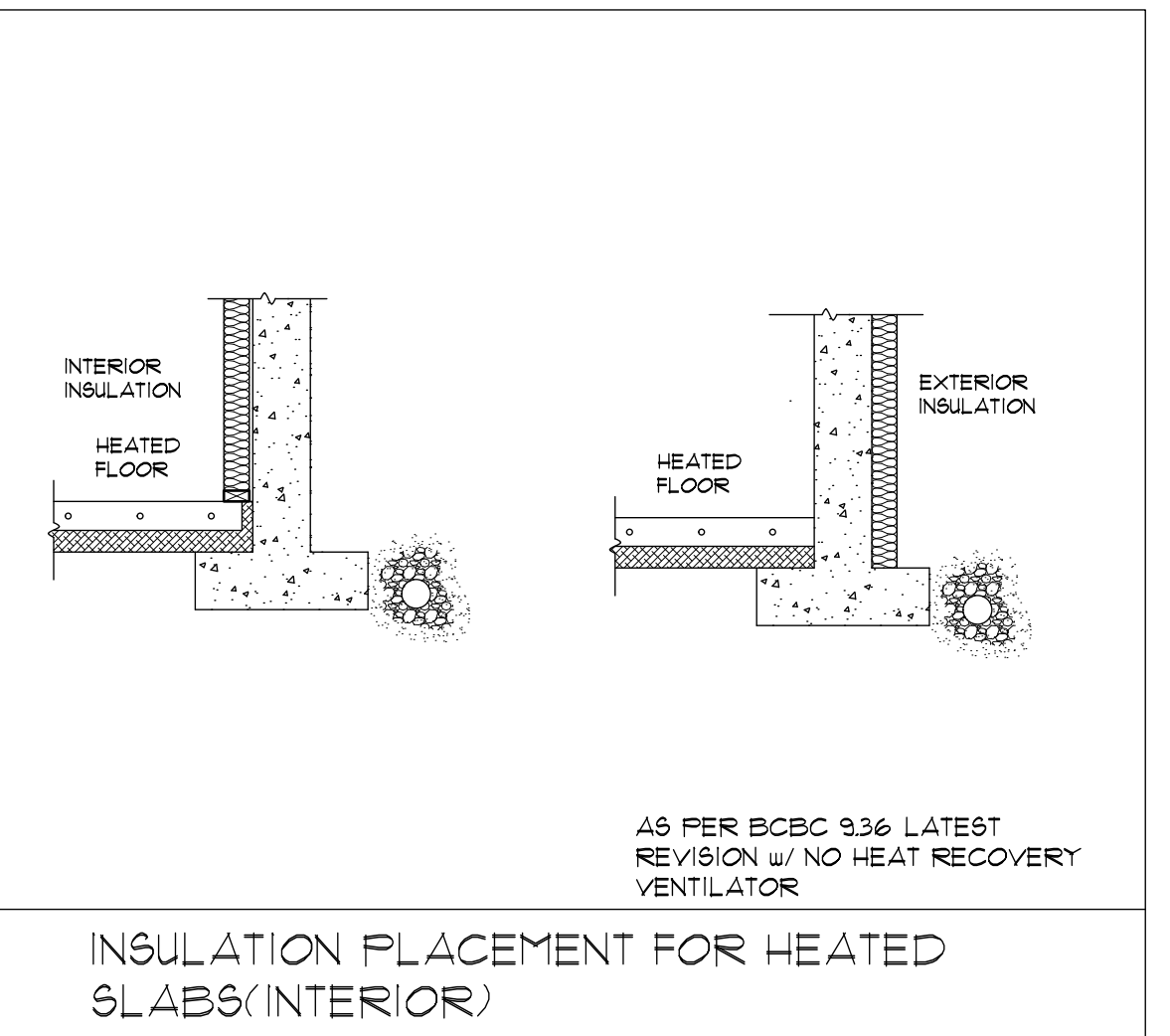
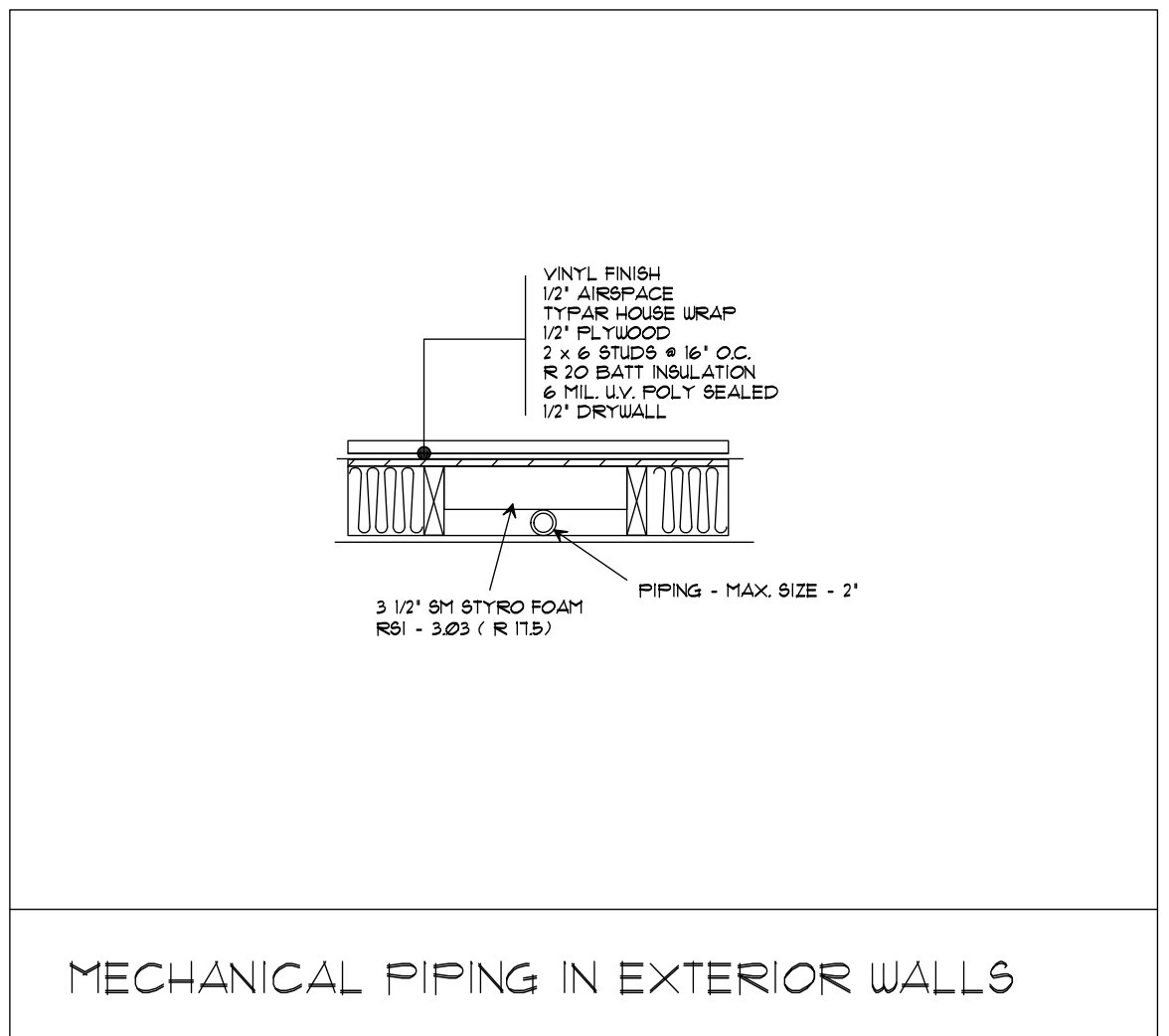
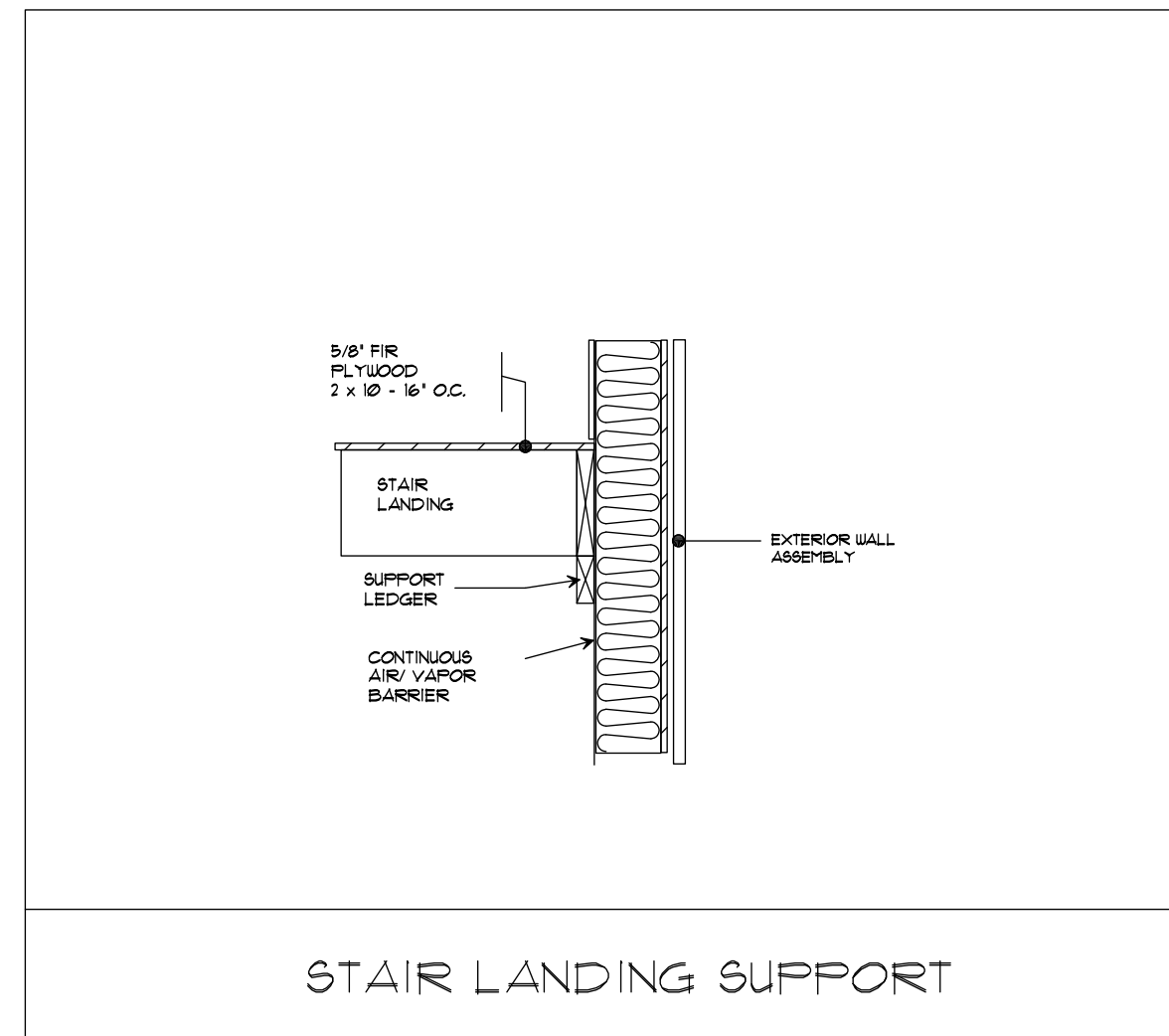
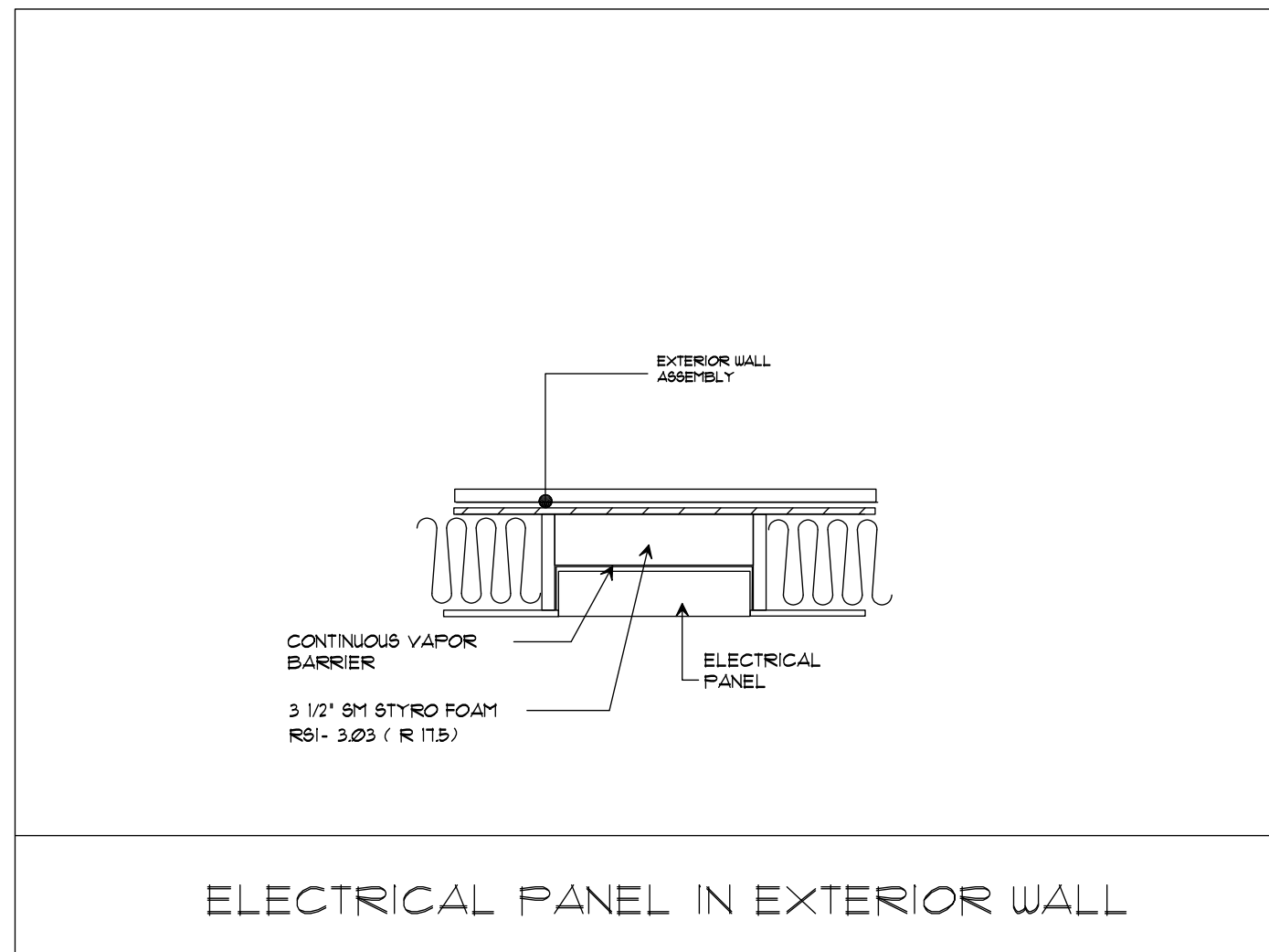
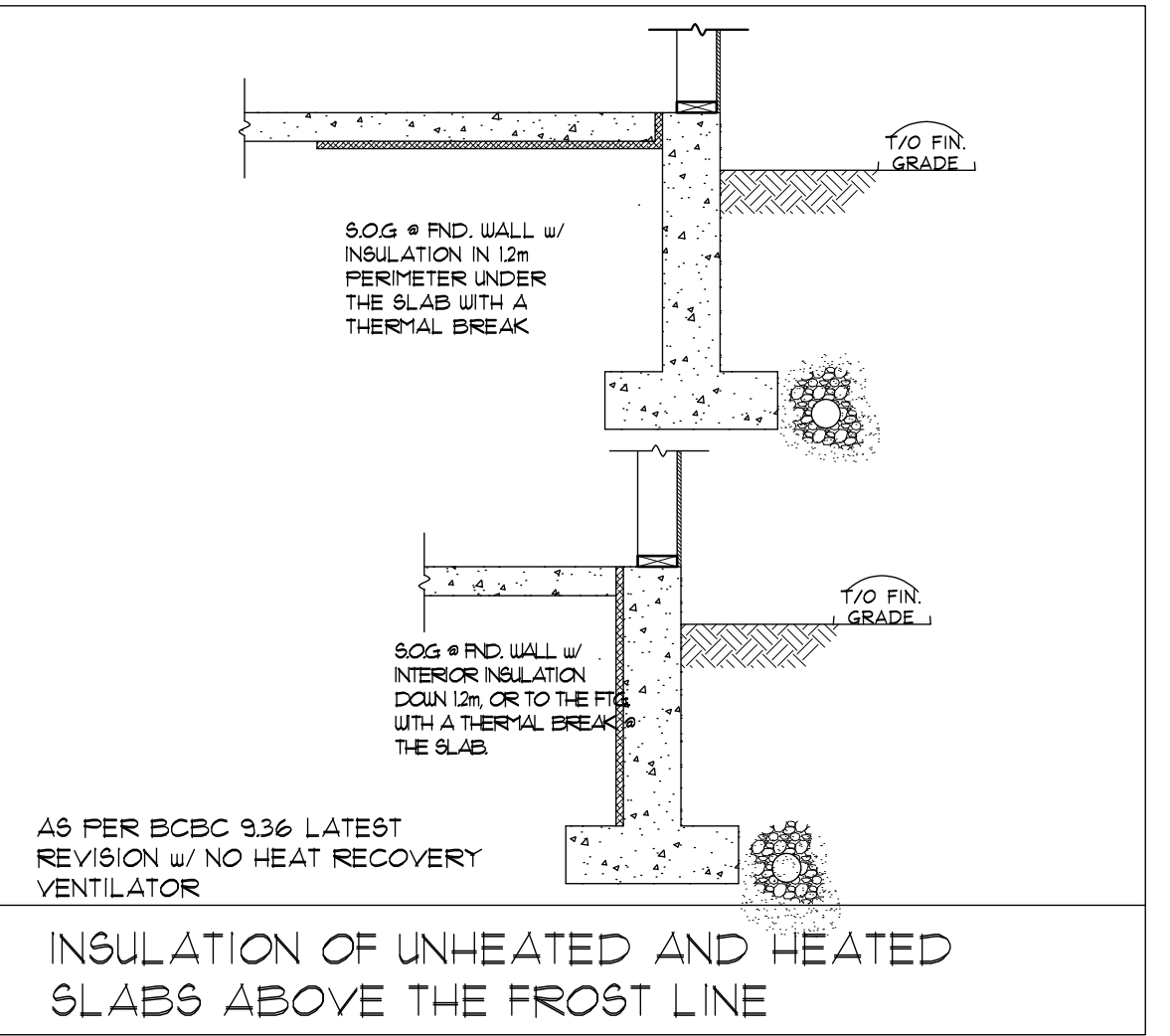
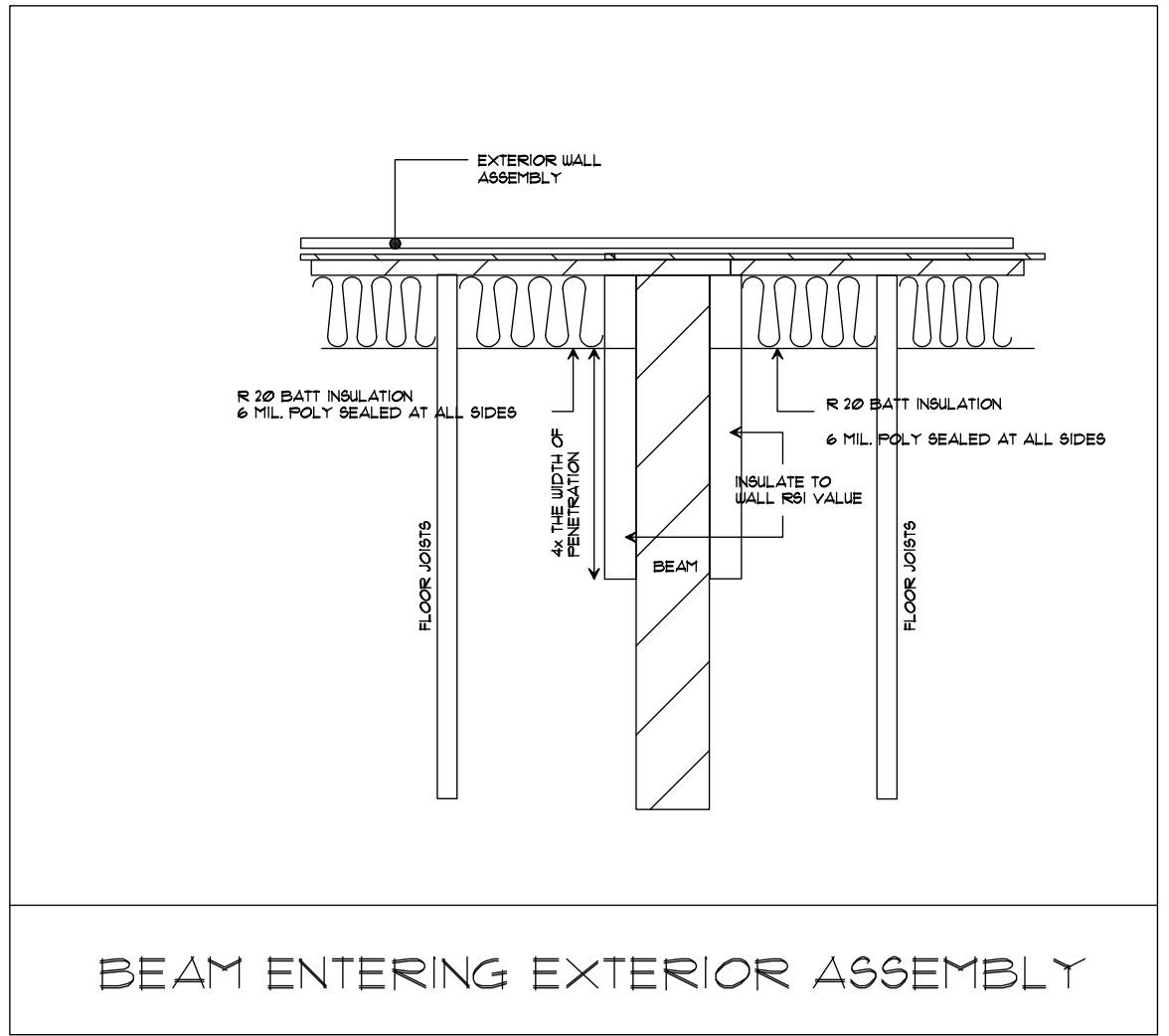
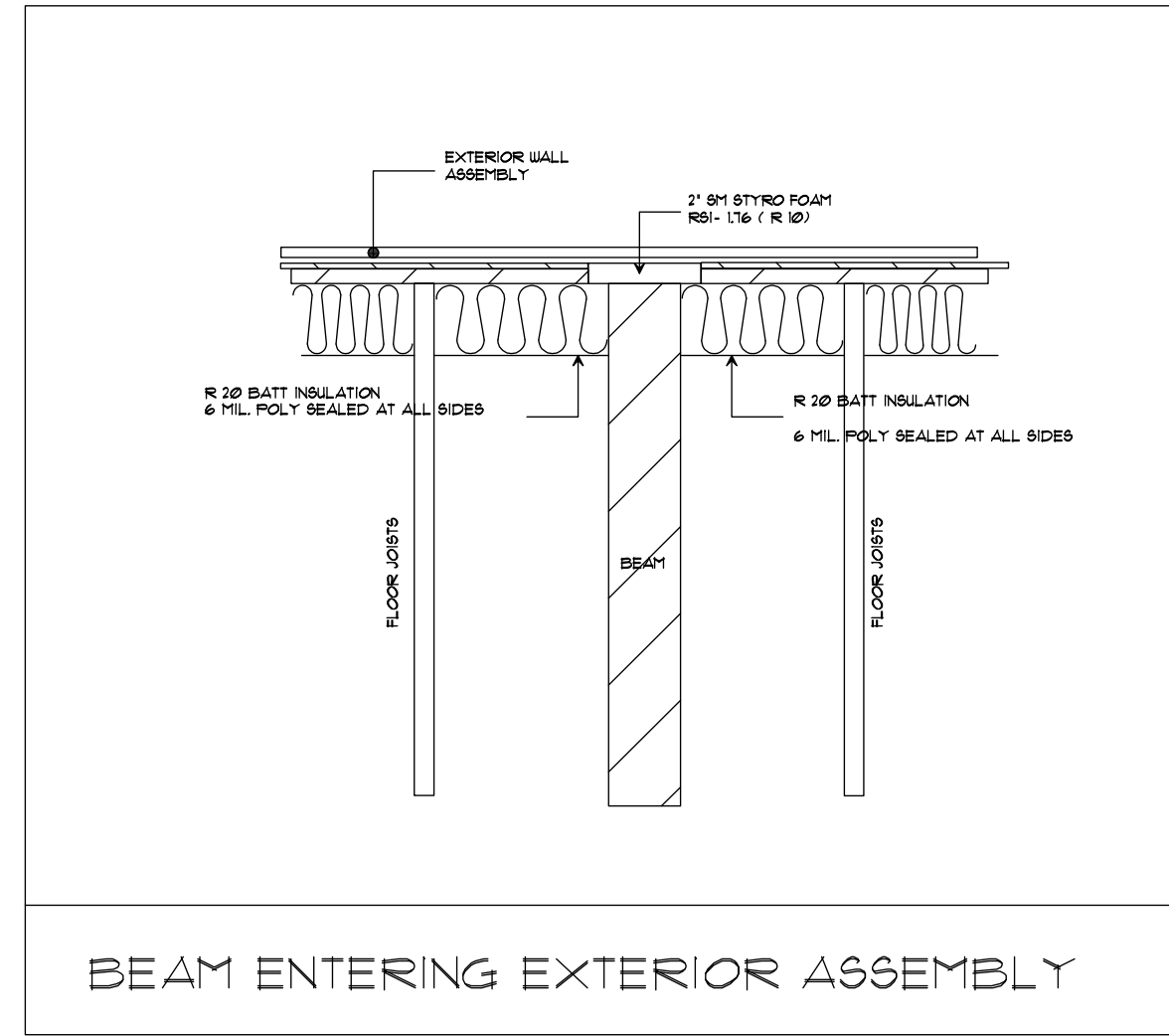
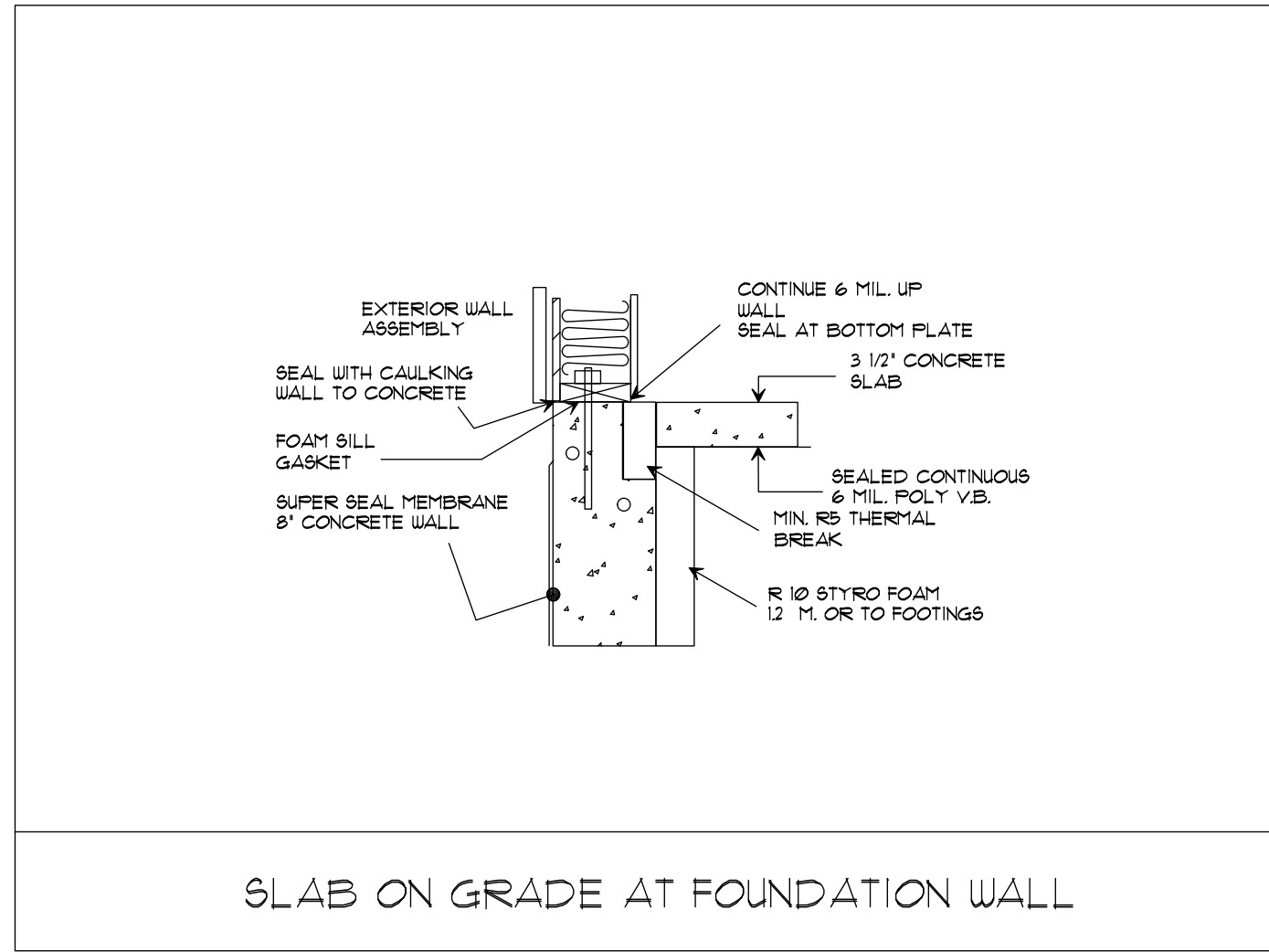
SEAL:

(C) COPYRIGHT RESERVED.
THIS PLAN AND DESIGN ARE, AND AT ALL TIMES, THE EXCLUSIVE PROPERTY OF SEL ENGINEERING LIMITED. REPRODUCTION OR USE WITHOUT WRITTEN CONSENT IS PROHIBITED. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON PROJECT AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING. DO NOT SCALE DRAWING.

PROJECT TITLE:
NEW SINGLE FAMILY RESIDENCE AT:
4686 SUNSHINE COAST HIGHWAY,
SECHLT, B.C.

DRAWING TITLE:
DETAILS

DESIGNED BY: CMC
CHECKED BY: CMC
DRAWN BY: GD
PROJECT NO: C22124
DATE: 02.23.2023
SCALE: AS SHOWN
DRAWING NO:



INTERIOR VAPOR BARRIER REQUIREMENTS

NOTE:
IF WIDER MECHANICAL PIPING OR DUCTING TO BE INSTALLED IN EXTERIOR WALL 3 1/2" SM1 STYRO FOAM MUST BE MAINTAINED WALL MUST BE MADE DEEPER TO ACCOMMODATE.

GENERAL NOTES:

- 1. CONSTRUCTION SHALL COMPLY WITH THE 2018 BRITISH COLUMBIA BUILDING CODE, AND THE NATIONAL STANDARDS OF CANADA INCLUDING CAN/CSA-086-17M4 CONSULTING STRUCTURAL ENGINEER ASSUMES NO RESPONSIBILITY FOR THE CONSEQUENCES OF FAILURE BY THE CONTRACTOR/OWNER TO BUILD IN STRICT CONFORMANCE WITH CONTRACT DRAWINGS AND DOCUMENTS.
2. DESIGN LOADS ARE AS FOLLOWS: LIVE LOAD (PSF) 32/20, DEAD LOAD (PSF) 16(INCLUDED FUTURE SOLAR PANEL)
A) ROOF 8s + 31.5s PSF, 5' x 8.4 PSF
B) FLOOR 40
C) WIND q10 = 10.03 PSF (0.48 KPa), q10 = 1.13 PSF (0.31 KPa)
D) SEISMIC 5s(0.2) + 0.82s, 5s(0.2) + 0.74s, 5s(0.2) + 0.43s, 5s(0.2) + 0.26s, 5s(0.2) + 0.20s, 5s(0.2) + 0.23s, PGA = 0.263, PGV = 0.255
3. READ STRUCTURAL DOCUMENTS IN CONJUNCTION WITH ALL OTHER CONTRACT DRAWINGS AND DOCUMENTS.
4. UNLESS NOTED OTHERWISE IN THE DRAWINGS OR APPROVED BY THE STRUCTURAL ENGINEER, DO NOT INSTALL OPENINGS, SET INSERTS, DRILL OR ATTACH.
5. ALL STRUCTURAL ITEMS MUST BE INSPECTED BY THE STRUCTURAL ENGINEER OR BY ANOTHER SUITABLY-QUALIFIED PERSON RESPONSIBLE TO THE STRUCTURAL ENGINEER.
6. NOTIFY THE STRUCTURAL ENGINEER 24 HOURS IN ADVANCE FOR THE FOLLOWING INSPECTIONS:
A) REINFORCING STEEL BEFORE EACH CONCRETE POUR
B) TIMBER OR STEEL FRAMING, PLYWOOD WALLS, ROOF BEFORE COVER-UP
7. PLEASE MAKE SURE THAT ALL WORK TO BE INSPECTED IS COMPLETED PRIOR TO CALLING INSPECTION.
8. STRUCTURAL DRAWINGS SHOW THE REQUIREMENTS FOR CONSTRUCTION OF PERMANENT AND COMPLETE STRUCTURE ONLY AND DO NOT INCLUDE COMPONENTS THAT MAY BE REQUIRED AS TEMPORARY WORKS WHICH SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
9. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION FAILURE TO DO SO SHALL RENDER THE CONTRACTOR RESPONSIBLE TO REPAIR ANY IMPROPER WORK.
10. ONLY STRUCTURAL COMPONENTS DETAILED ON OUR DRAWINGS HAVE BEEN DESIGNED BY US, OTHER STRUCTURAL COMPONENTS AND ANY OTHER BUILDING COMPONENTS ARE THE RESPONSIBILITY OF THEIR RESPECTIVE DESIGNERS.
11. THESE DESIGN DOCUMENTS ARE PREPARED SOLELY FOR THE USE OF THE PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS ENTERED INTO A WRITTEN CONTRACT AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY THE DESIGN PROFESSIONAL TO ANY PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS NOT ENTERED INTO SUCH A CONTRACT.

FOUNDATIONS:

- 1. FOUNDATIONS ARE DESIGNED AS SPREAD FOOTINGS WITH AN ASSUMED MINIMUM ALLOWABLE BEARING PRESSURE OF 1500 PSF WHICH IS TO BE CONFIRMED BY A PROFESSIONAL (GEOTECHNICAL) ENGINEER REGISTERED IN THE PROVINCE OF BRITISH COLUMBIA CONTRACTOR TO NOTIFY SEL ENGINEERING LIMITED IF THE ABOVE CONDITION IS NOT MET PRIOR TO ANY CONSTRUCTION OF FOUNDATION.
2. ALL FILL MATERIAL(S) AS PER REQUIREMENTS OF A PROFESSIONAL (GEOTECHNICAL) ENGINEER'S INSTRUCTIONS.
3. EXECUTION:
A) REMOVE TOPSOIL AND OTHER ORGANIC MATERIAL FROM BUILDING AREA.
B) EXTEND ALL FOUNDATIONS TO FIRM, UNDISTURBED, INORGANIC NATIVE SOIL, OR TO A MINIMUM 18" BELOW GRADE, OR TO ELEVATIONS SHOWN ON THE DRAWINGS, WHICHEVER IS DEEPER.
C) REMOVE ALL LOOSE MATERIAL FROM FOOTINGS PRIOR TO POURING CONCRETE.
D) APPROVED SUBGRADE MEANS COMPACTED FILL AS SPECIFIED BY A PROFESSIONAL (GEOTECHNICAL) ENGINEER UNLESS NOTED OTHERWISE, STEP STRIP FOOTINGS AT ONE LENGTH RISE TO A MINIMUM TWO LENGTHS RUN.

CONCRETE:

- 1. PROVIDE CONCRETE AND PERFORM WORK TO CSA STANDARD CAN5-A231-M20.
2. PRODUCTS:
A) CEMENT - TYPE 10 NORMAL PORTLAND CEMENT.
B) REINFORCING STEEL - NEW DEFORMED BARS TO CSA STANDARD G3018-M192 GRADE 400, WELDED WIRE FABRIC TO CSA STANDARD G3025-M1983 (R-1993) + G3025 - M1983 (R-1993)
C) AGGREGATE AND WATER AS PER CSA STANDARD CAN5-A231-M20
D) ADMIXTURES - AIR-ENTRAINING TO CSA STANDARD A266.4-M18 AND WATER-REDUCING TO ASTM C494-TYPE A.
E) ANCHOR BOLTS TO ASTM A307, USE 5/8" AT MAX. OF 32" O.C. UNO.
3. EXECUTION:
A) MIX AND PLACE CONCRETE TO CSA STANDARD CAN5-A231-M20.
B) VERTICAL DROP OF CONCRETE NOT TO EXCEED 8'-0".
C) COMPACT CONCRETE WITH INTERNAL-TYPE MECHANICAL VIBRATORS, WORK CONCRETE AROUND ALL EMBEDDED MATERIAL AND CORNERS OF FORM.
D) PROVIDE CLEAR CONCRETE COVER OVER REBAR AS FOLLOWS, UNLESS NOTED OTHERWISE -
- FURRED AGAINST EXPOSED EARTH - 3"
- FURRED SURFACES EXPOSED TO EARTH AND WEATHER - 1-1/2"
- OTHER FURRED SURFACES - 3/4"
E) MINIMUM SPLICE LENGTH IS AS FOLLOWS, UNLESS NOTED OTHERWISE -
BAR SIZE 18" 1.25L
LAP LENGTH 14" 20"
F) CONTROL JOINTS - SLAB-ON-GRADE REQUIRES 1" DEEP PREFORMED OR SAUCUT JOINT AT 20'-0" MAXIMUM SPACING IN BOTH DIRECTIONS, SAUCUT WITHIN 24 HOURS OF CONCRETE PLACEMENTS AFTER CONCRETE HAS HARDENED SUFFICIENTLY.
G) FORM ACCURACY TOLERANCE IS 1/4" IN PLAN AND ELEVATION, SLAB FORM TOLERANCE IS SAME.

STRUCTURAL WOOD PRODUCTS:

- 1. PROVIDE STRUCTURAL FRAME AND PERFORM WORK TO 2018 BRITISH COLUMBIA BUILDING CODE, AND CAN/CSA-086.1-M18
2. PRODUCTS:
A) LUMBER TO CONFORM TO CAN/CSA STANDARD O41-1991, NLGA STANDARD GRADING RULES FOR CANADIAN LUMBER, AND TO HAVE A MAXIMUM 18% MOISTURE CONTENT AT TIME OF INSTALLATION.
B) LUMBER GRADE TO BE NO. 2 OR 3 FOR ALL MEMBERS DETAILED ON STRUCTURAL DRAWINGS INCLUDING JOISTS, STUDS, LEDGERS AND BLOCKINGS, USE NO. 1 GRADE FOR POSTS, USE NO. 2 GRADE DPFR-1 FOR PLATES, PLYWOOD - DOUGLASS FIR SHEATHING GRADE TO CSA STANDARD O21-1915B, EXTERIOR GRADE FOR ROOF, TONGUE-AND-GROOVE FLOOR.
C) JOISTS AND BEAM HANGERS, METAL FASTENERS AND FRAMING ANCHORS - PROPERLY TESTED IN ACCORDANCE WITH CBO CRITERIA AND ANALYZED TO EVALUATE LOAD CAPACITIES.
3. EXECUTION:
A) ALL OPENINGS (INTERIOR AND EXTERIOR) MUST BE SPANNED BY A MINIMUM OF 2-2x10 BEAMS/LINTELs, UNO.
B) PARTITION WALLS RUNNING PARALLEL TO JOISTS MUST BE SUPPORTED ON DOUBLED-UP JOISTS.
C) ALL BUILT-UP COLUMNS ARE TO HAVE ALL MEMBERS NAILED TOGETHER WITH 3" NAILS AT 6" O.C. STAGGERED.
D) MINIMUM WIDTH OF BUILT-UP COLUMNS ARE TO EXCEED THE WIDTH OF ITS SUPPORTING BEAM.
E) ALL BUILT-UP MEMBERS OR SINGLE-MEMBER FRAMING FLUSH TO BEAMS OR HEADERS ARE TO BE CONNECTED WITH METAL HANGERS (MINIMUM CAPACITY = BUILT-UP MEMBERS+400000 SINGLE MEMBERS+200000).
F) FASTEN ALL NON-LOAD BEARING PARTITION WALLS WITH FASTENERS AT 24" O.C. MAX.
G) BUILT-UP BEAMS ARE TO BE NAILED TOGETHER WITH 3" OR 3-1/2" COMMON NAILS AT 12" O.C. ALTERNATION.
H) IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE REQUIRED BEARING PROPERTIES AND TO ENSURE THAT THE PROPER FOUNDATION SUPPORT IS AVAILABLE AND THAT POSTS AND COLUMNS ARE CONTINUOUS TO THE FOUNDATION.
J) ALL WALLS ARE TO BE 2x4 STUDS @ 16" O.C. UNO.

ENGINEERED WOOD PRODUCTS:

- 1. "PL" AND "SL" DENOTES 20E US PARALLAM AND TIMBERSTRAND RESPECTIVELY, THEIR ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS

Table with 3 columns: TYPE, 20E PL, 15E TS. Rows include Modulus of Elasticity E, Flexural Stress Fb, Compressive Stress Perpendicular to Grain Fc, Compressive Stress Parallel to Grain Fc, Horizontal Shear Stress Fv.

- 2. SUBMIT SHOP DRAWINGS TO STRUCTURAL ENGINEER AND OBTAIN REVIEWED SHOP DRAWINGS PRIOR TO ANY FABRICATION. SHOP DRAWINGS TO SHOW MATERIAL, SIZES, CAMBER, CONNECTIONS (SHOW LOAD CAPACITIES), AND DESIGN LOADS.
3. DESIGN AND DETAIL ALL CONNECTIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
4. PROTECT MEMBERS FROM WEATHER AND SITE CONDITIONS TO PREVENT DAMAGE.
5. ERECT MEMBERS AS OUTLINED BY MANUFACTURER.

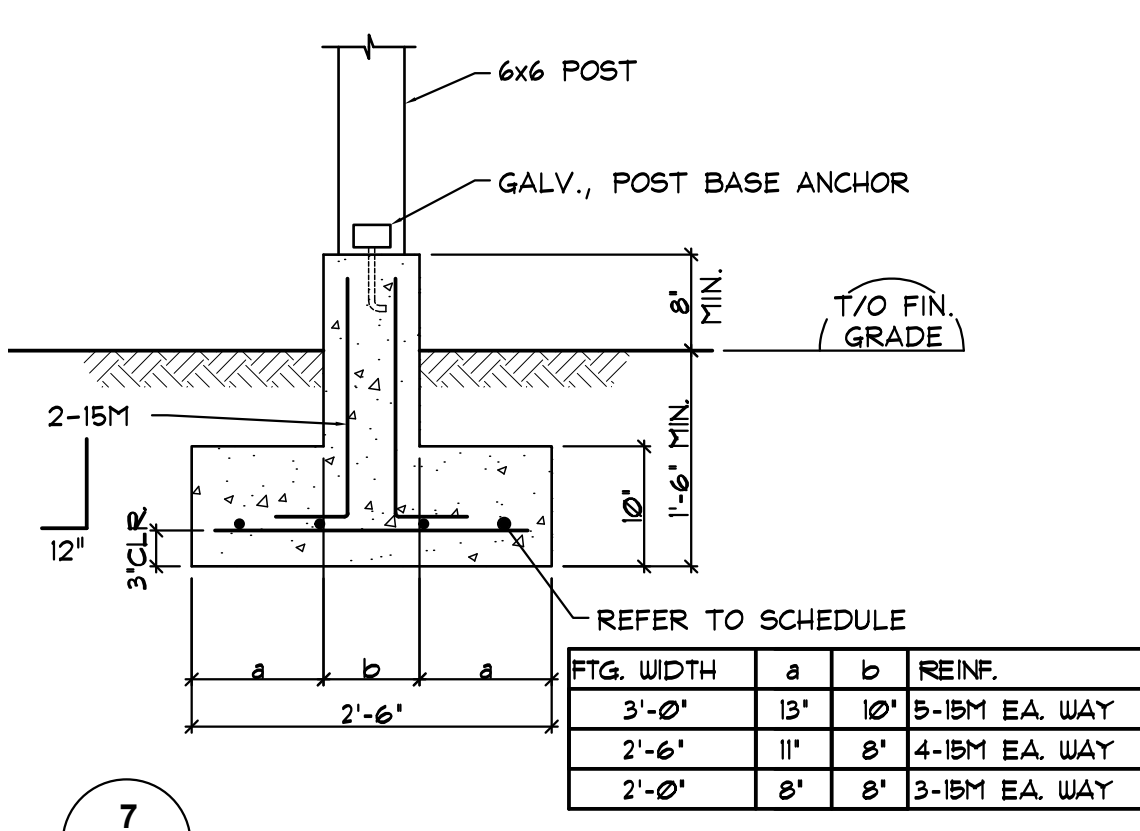
ENGINEERED WOOD TRUSSES:

- 1. ALL ENGINEERED WOOD TRUSSES ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF BRITISH COLUMBIA IN ACCORDANCE WITH CAN5-086 LATEST EDITION.
2. THE CONTRACTOR SHALL SUBMIT ENGINEERED WOOD TRUSS SHOP DRAWINGS TO SEL ENGINEERING LIMITED PRIOR TO FABRICATION (FOR REVIEW OF GENERAL CONFORMANCE ONLY) AND SHALL CLEARLY INDICATE ON SHOP DRAWINGS ALL DESIGN LOADS AND LOAD CASES AS WELL AS ALL ERECTION INSTRUCTIONS INCLUDING FINAL LATERAL BRACING AND BRIDGING REQUIREMENTS.
3. THE SUBMITTED SHOP DRAWINGS ARE TO BEAR THE SEAL OF A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF BRITISH COLUMBIA WHO SHALL BE RESPONSIBLE FOR DESIGN AND FABRICATION OF THE TRUSSES.

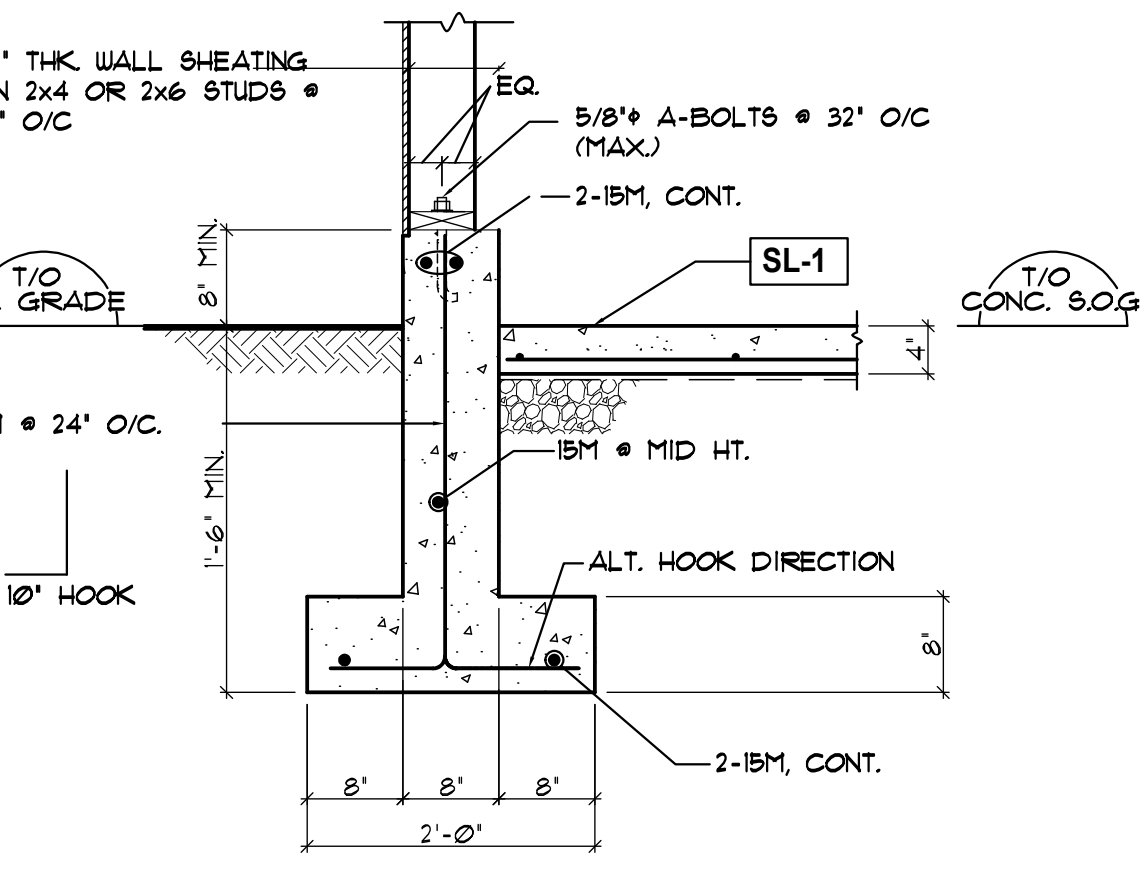
STRUCTURAL STEEL:

- 1. FABRICATE AND ERECT STRUCTURAL STEEL TO CAN/CSA 916.1-94.
2. WELD TO CAN/CSA W59-M1989 BY FABRICATORS QUALIFIED TO CAN/CSA W47.1-1983, DIVISION 1 OR 2.
3. SUBMIT SHOP DRAWINGS TO STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SHOP DRAWINGS ARE TO SHOW ALL DETAILS AND MATERIAL SPECIFICATIONS AND MUST BE SEALED BY THE REGISTERED PROFESSIONAL ENGINEER WHO HAS DESIGNED THE CONNECTIONS.
4. PRODUCTS:
A) STRUCTURAL STEEL TO CAN/CSA G40.21-M07.
-W-SHAPE BEAMS AND COLUMNS 300W
-HSS SECTIONS CLASS C 350W
-CHANNELS AND ANGLES 300W
-BARS AND PLATES 300W
B) ANCHOR BOLTS ASTM A307 # SAE GRADE 5
C) BOLTS, CADMIUM-PLATED IF EXPOSED TO WEATHER ASTM A325
D) PRIMER TO CISC/CPMA 1-73A. ITEMS TO BE PAINTED TO CISC/CPMA 2-75 AND TO BE COMPATIBLE WITH FINISH PAINT.
5. EXECUTION:
A) WELD OR USE BOLTED SHOP CONNECTIONS.
B) CONNECT BEAM SHEAR SPLICES FOR CAPACITIES SHOWN ON STRUCTURAL DRAWINGS. USE MINIMUM 2-1" BOLTS IN A DOUBLE-SHEAR CONNECTION WITH NO THREAD IN SHEAR PLANES. MINIMUM BEAM SHEAR IS 40% OF TOTAL BEAM SHEAR CAPACITY AS LISTED IN THE CISC MANUAL'S BEAM LOAD TABLES FOR A GIVEN SPAN OF BEAM.
C) PAINT ALL STEEL WITH ONE COAT PRIMER EXCEPT STEEL TO BE EMBEDDED IN CONCRETE OR STEEL TO BE FIREPROOFED. FINISH AS PER CLIENT SPEC.

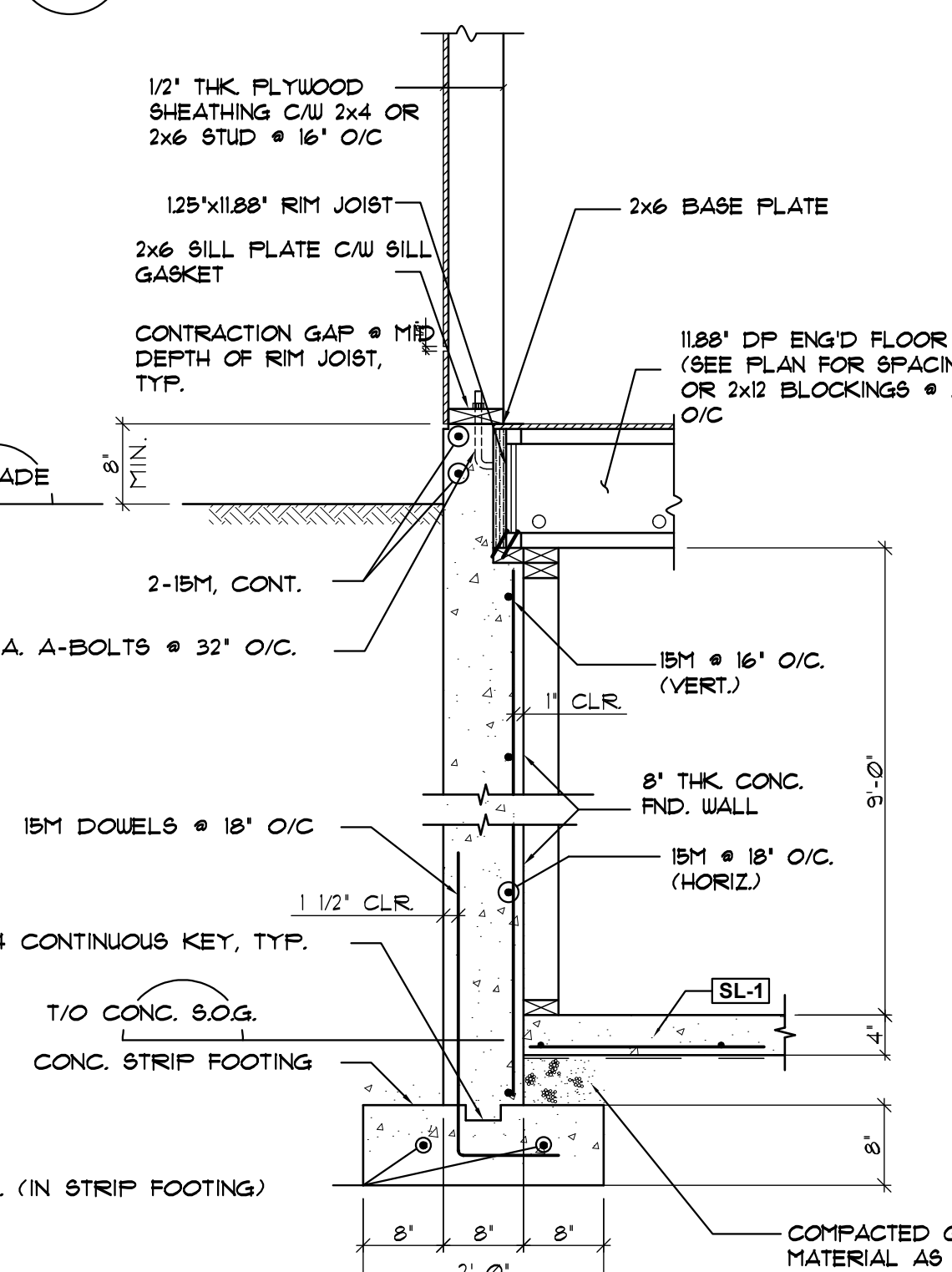
SL-1 - 4' THK CONC. SLAB C/W 10M @ 18" O/C ON 6mm V.B. ON APPROVED SUB-GRADE
SL-2 - 4' THK CONC. SLAB C/W 10M @ 18" O/C ON APPROVED SUB-GRADE



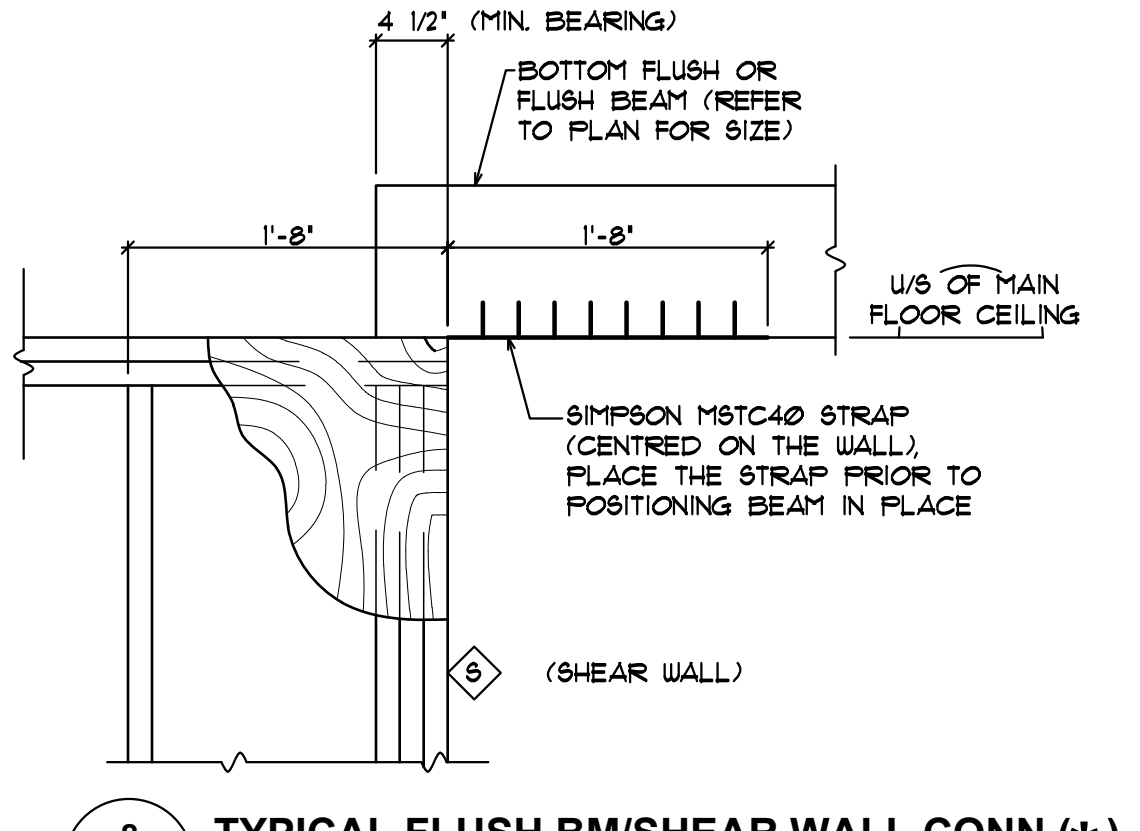
7 SCALE: 3/4" = 1'-0"



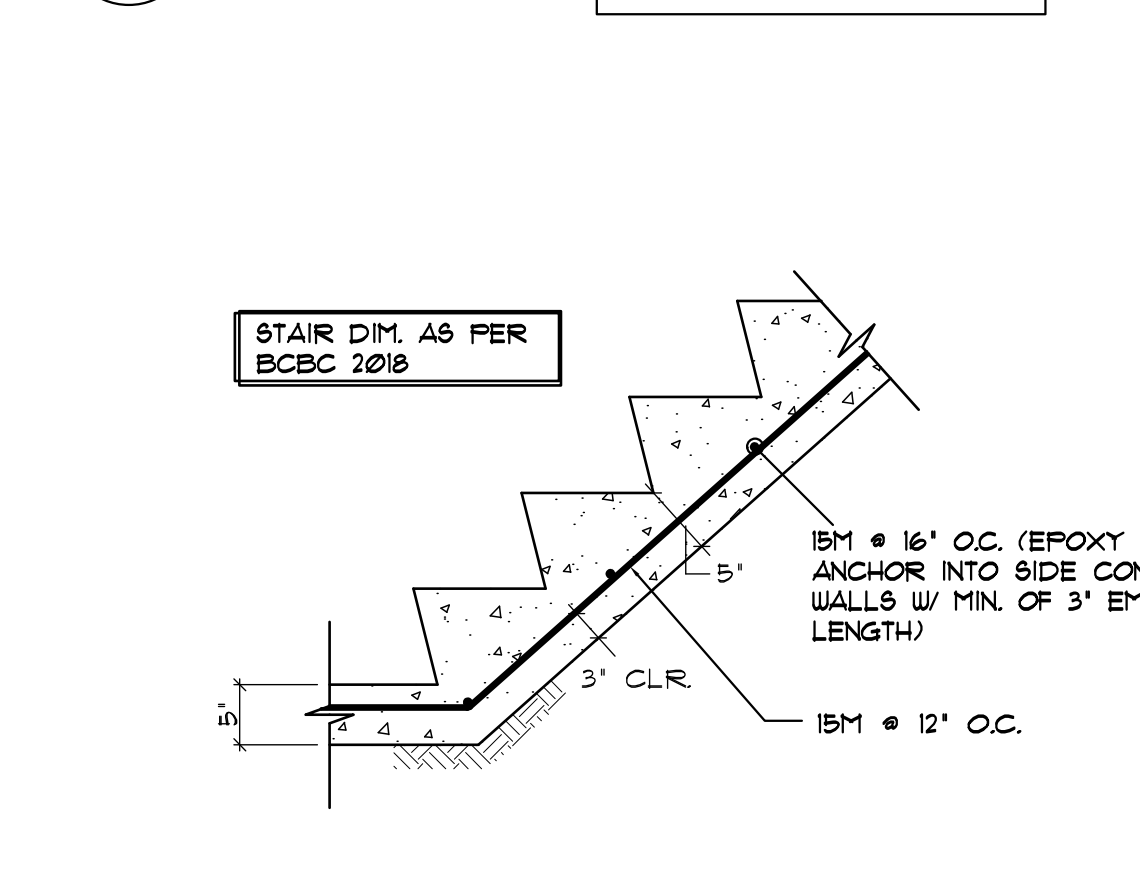
4 TYP. EXT. FND. WALL/FTG. SECTION SCALE: 3/4" = 1'-0"



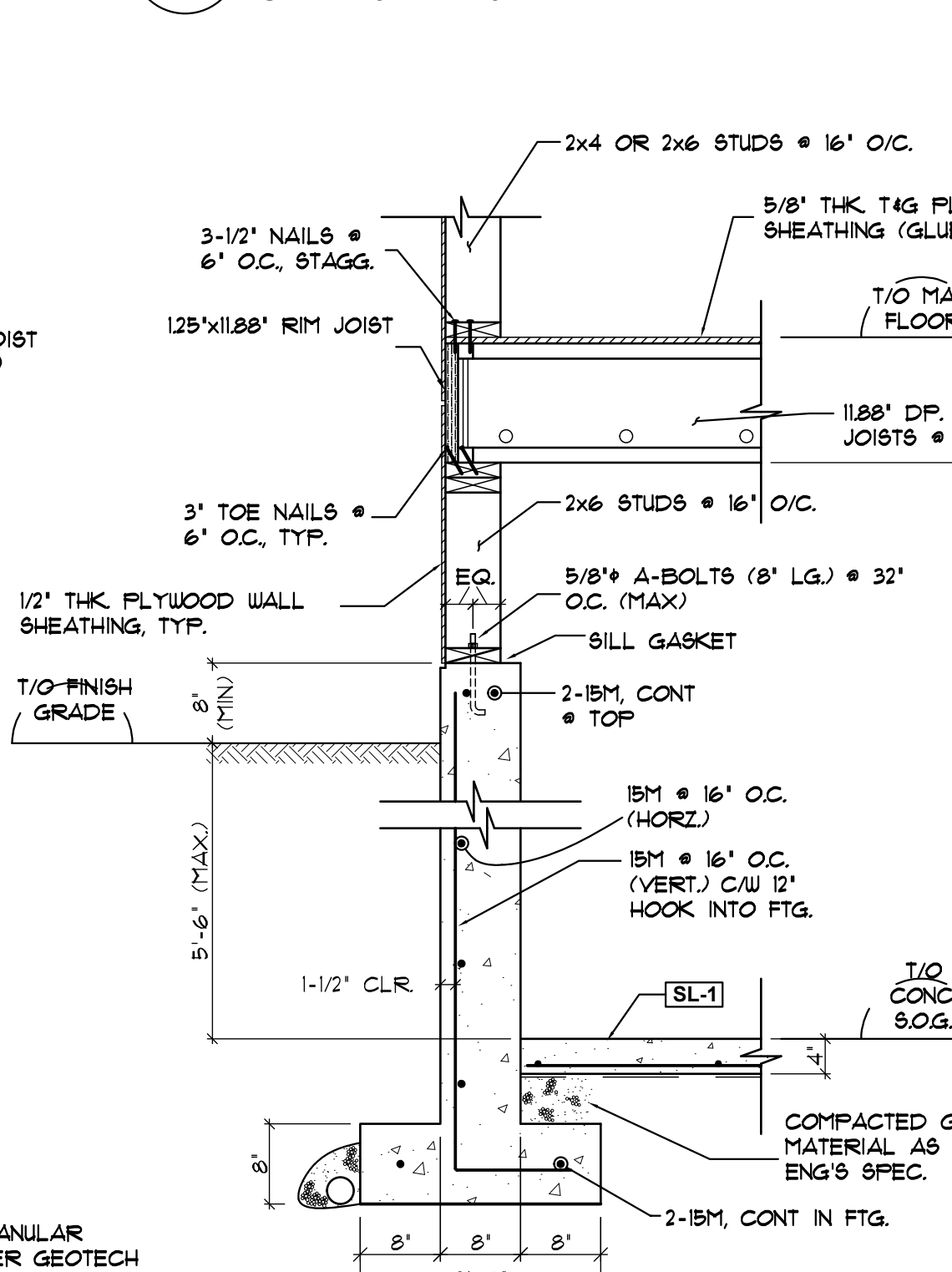
1 TYP. EXT. FND. WALL/FTG. SECTION (TYPE 1) SCALE: 3/4" = 1'-0"



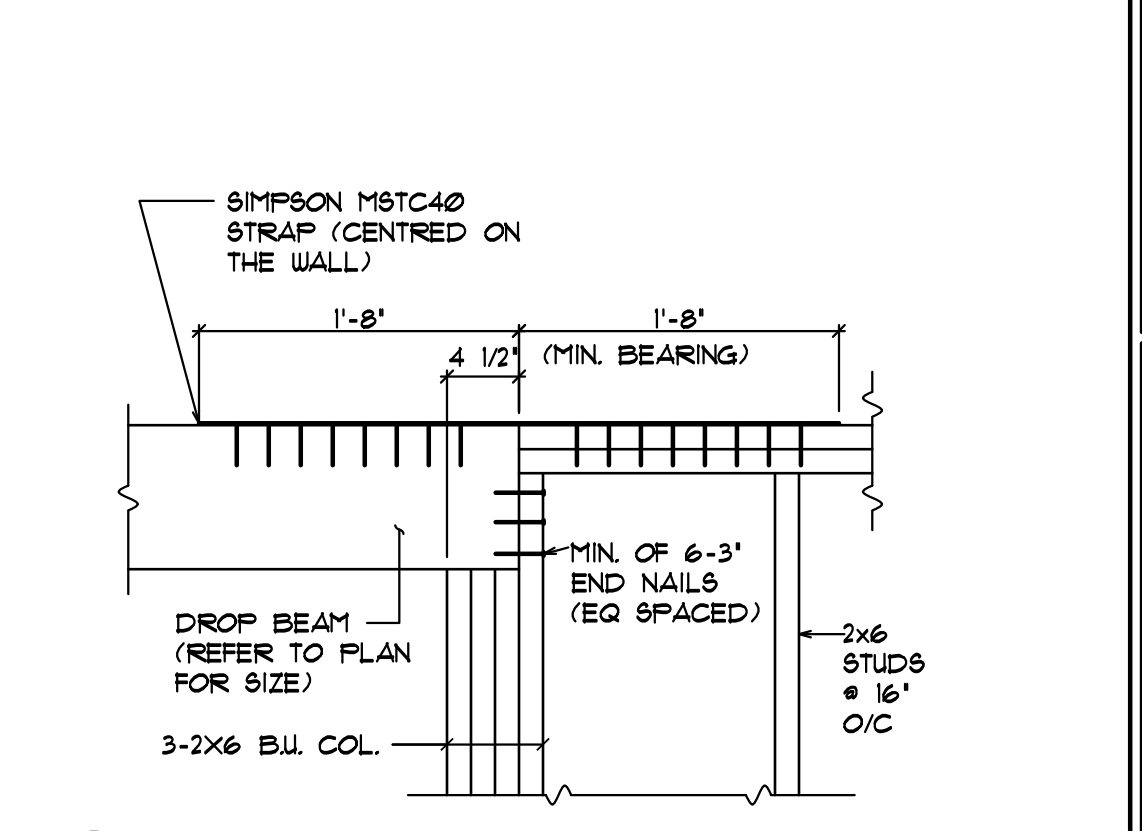
8 TYPICAL FLUSH BM/SHEAR WALL CONN.(*) SCALE: 1" = 1'-0" * INCLUDING EXT. WALLS



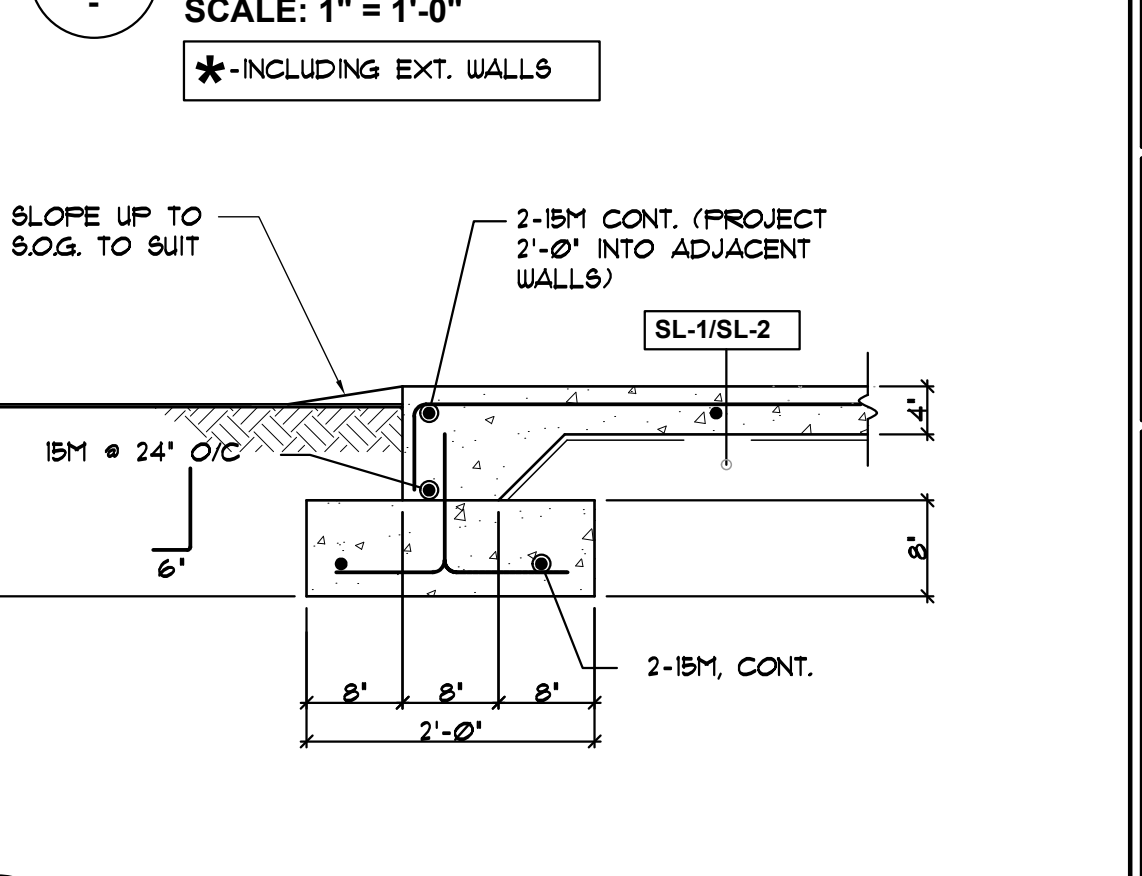
5 TYP. CONC. STAIR SECTION (TYPE 3) SCALE: 3/4" = 1'-0"



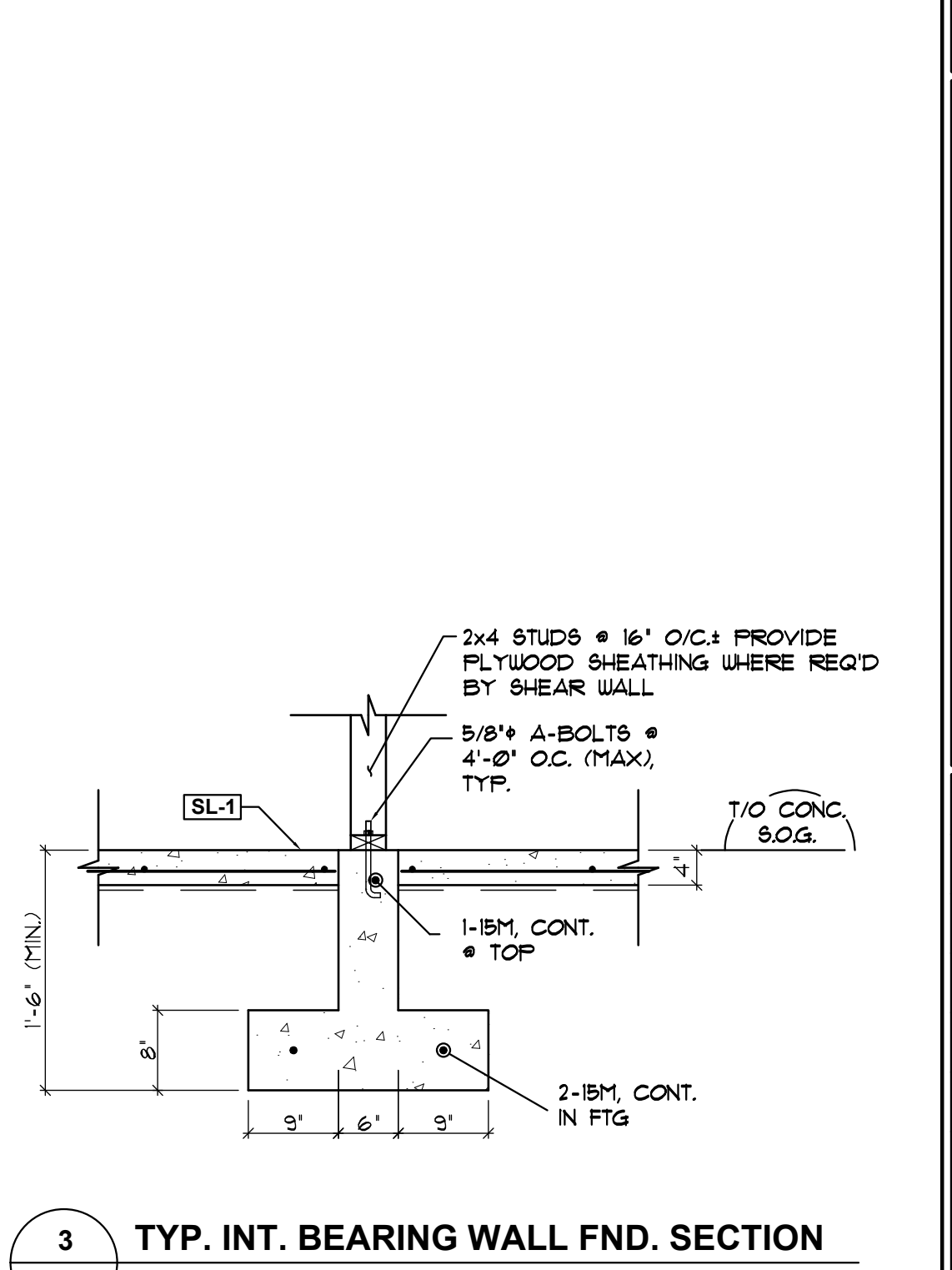
2 TYP. EXT. FND. WALL/FTG. SECTION (TYPE 2) SCALE: 3/4" = 1'-0"



9 TYPICAL DROP BM/SHEAR WALL CONN.(*) SCALE: 1" = 1'-0" * INCLUDING EXT. WALLS



6 SLAB AND FTG. SECTION AT DOOR OPENING SCALE: 3/4" = 1'-0"



3 TYP. INT. BEARING WALL FND. SECTION SCALE: 3/4" = 1'-0"

REVISIONS table with columns for revision number, description, and date. Row 1: ISSUED FOR BLDG. PERMIT 03.03.2023

SEL Engineering Limited Consulting Engineers
1201, 3023 ST. JOHN'S STREET
PORT MOODY, BC V3H 2C4
TELEPHONE: 604.469.3123
FACSIMILE: 604.469.3101
E-MAIL: SEL@SELENG.COM

SEAL:
(PERMIT NUMBER: 1003524)

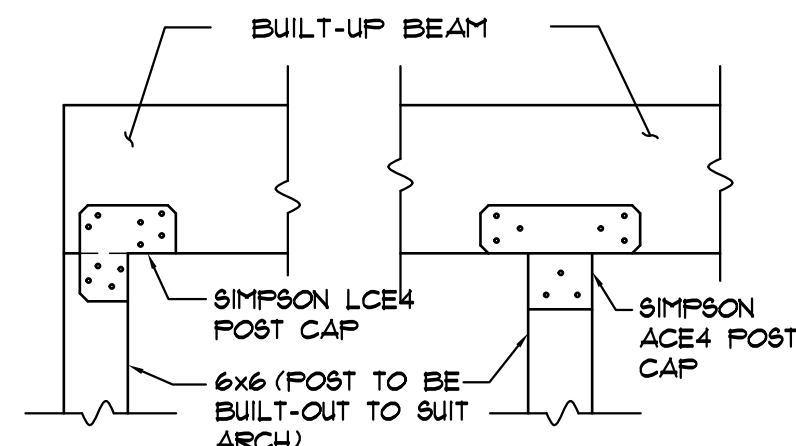
(C) COPYRIGHT RESERVED.
THIS PLAN AND DESIGN ARE, AND AT ALL TIMES, THE EXCLUSIVE PROPERTY OF SEL ENGINEERING LIMITED. REPRODUCTION OR USE WITHOUT WRITTEN CONSENT IS PROHIBITED. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON PROJECT AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING. DO NOT SCALE DRAWING.

PROJECT TITLE:
NEW SINGLE FAMILY RESIDENCE AT:
4686 SUNSHINE COAST HIGHWAY,
SECHLT, B.C.

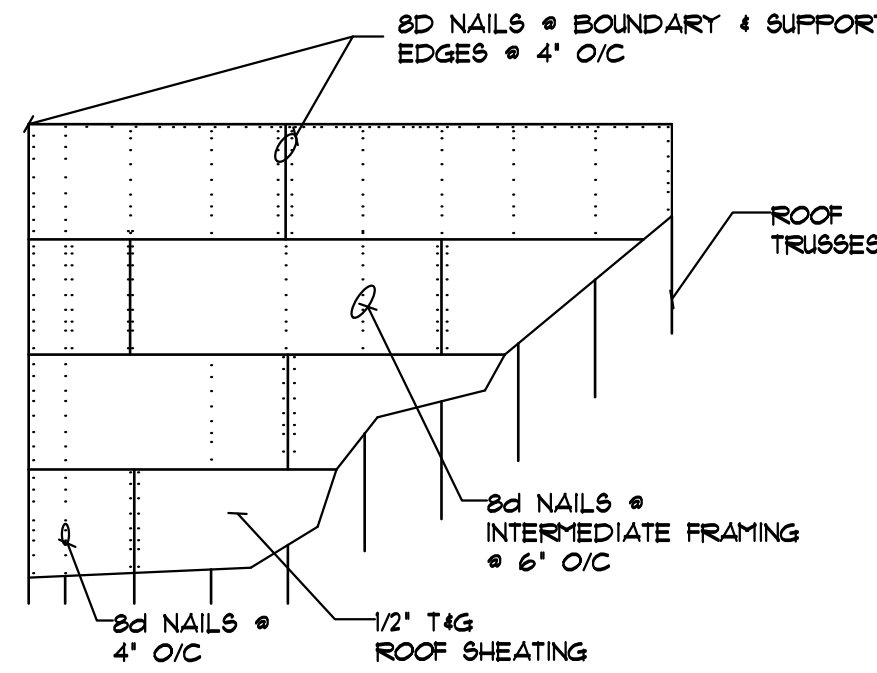
DRAWING TITLE:
GENERAL NOTES AND DETAILS

Table with 2 columns: Field and Value. Rows include DESIGNED BY: CMC, CHECKED BY: CMC, DRAWN BY: GD, PROJECT NO: C22124, DATE: 03.03.2023, SCALE: AS SHOWN, DRAWING NO:

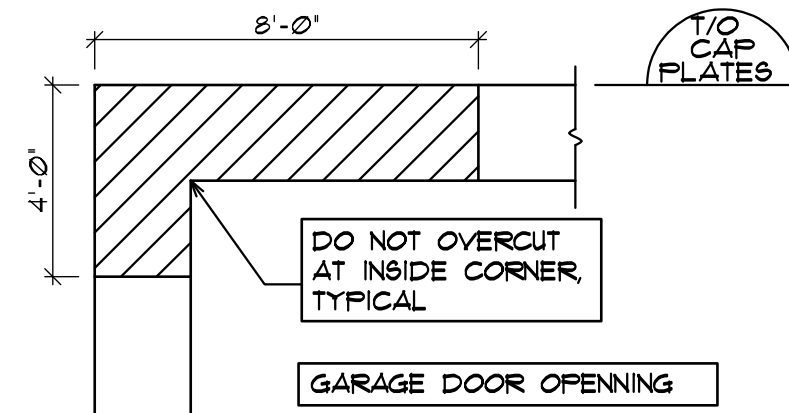
S-1



8 TYPICAL BEAM/POST CONN. DETAIL
SCALE: 1" = 1'-0"

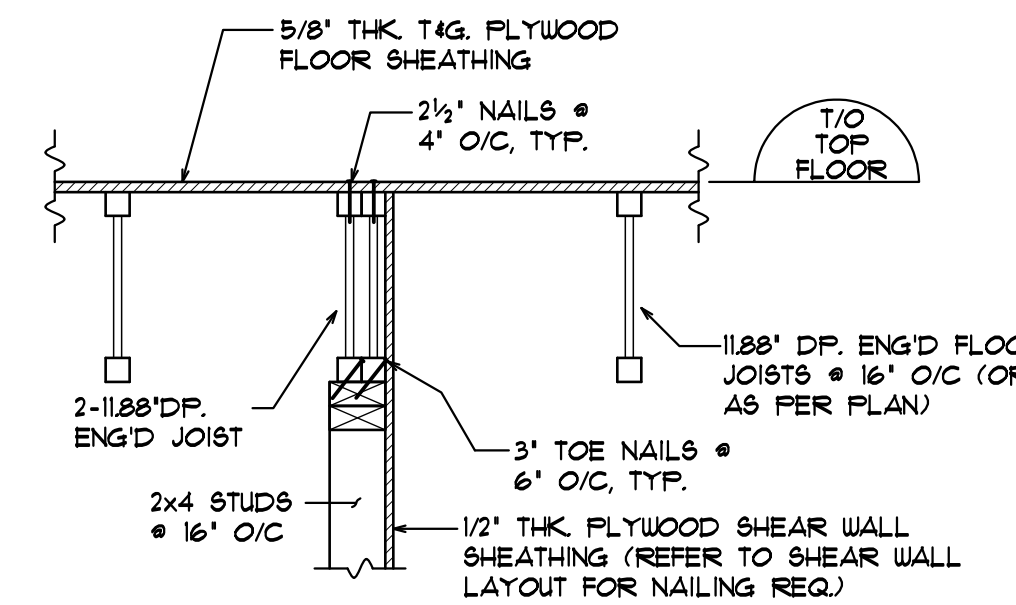


9 TYP. ROOF DECK NAIL PATTERN
N.T.S.

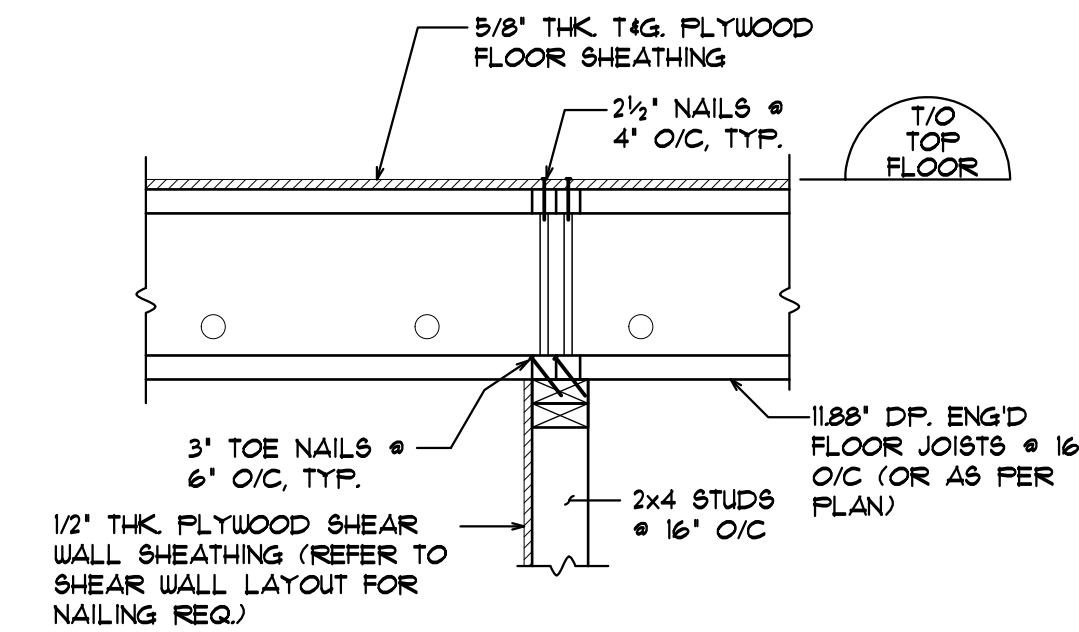


NOTE: PROVIDE 5/8" THK PLYWOOD SHEATHING ONLY AT GARAGEDOOR ELEVATION

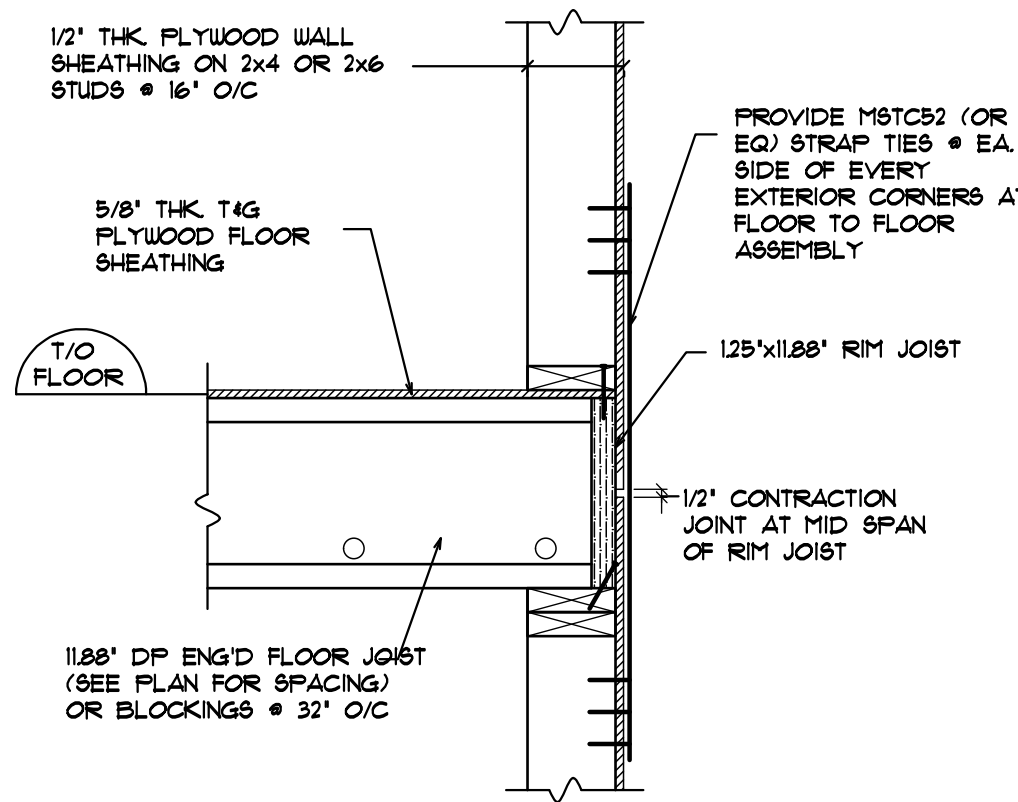
TYPICAL WALL SHEATHING PATTERN AT GARAGE DOOR & FRONT/REAR WALL ELEV.
N.T.S.



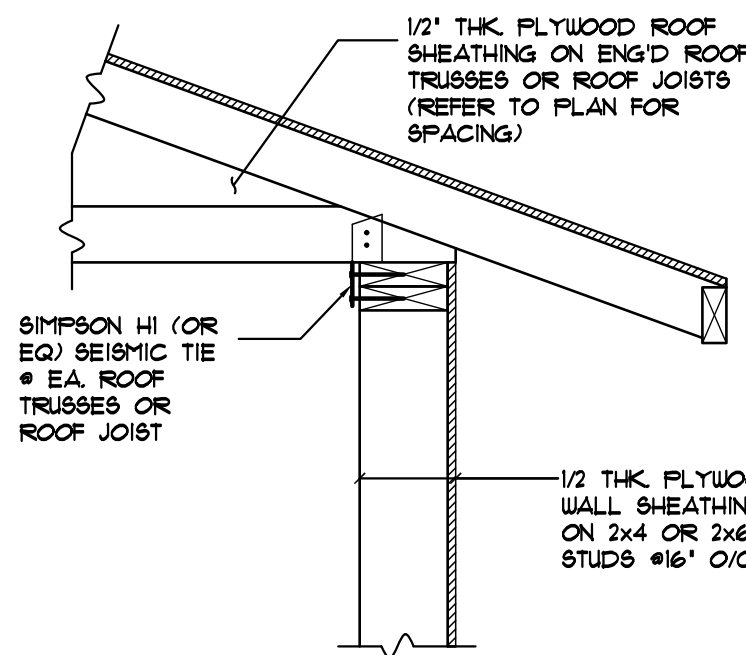
11 TYP. SHEAR WALL DETAIL || TO JST.
SCALE: 1" = 1'-0"



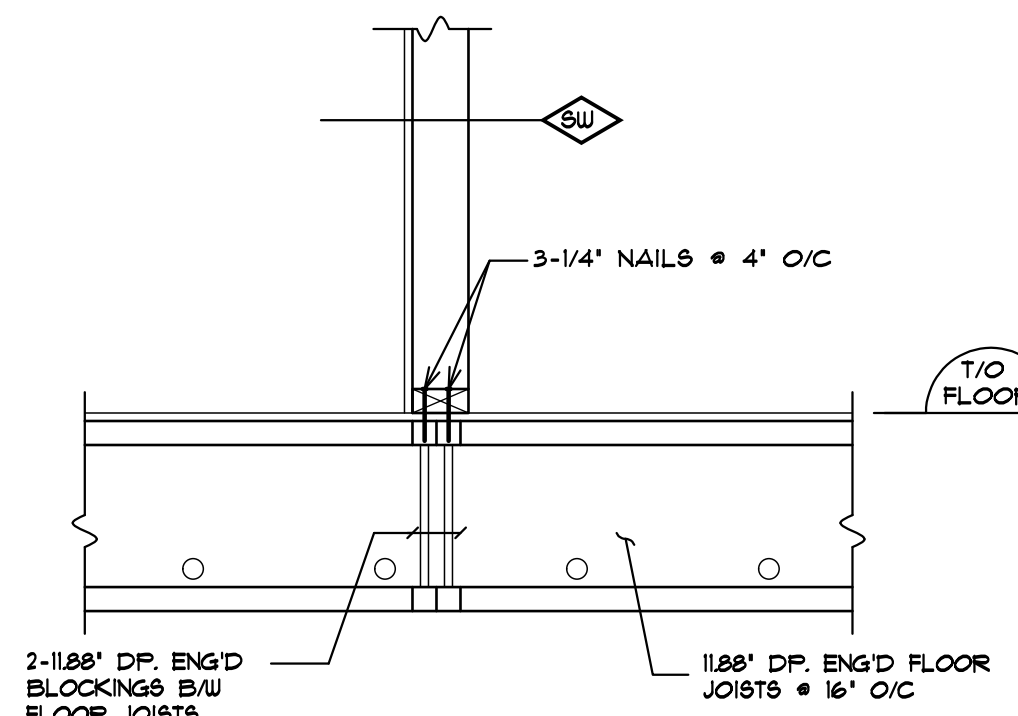
12 TYP. SHEAR WALL DETAIL ⊥ TO JST.
SCALE: 1" = 1'-0"



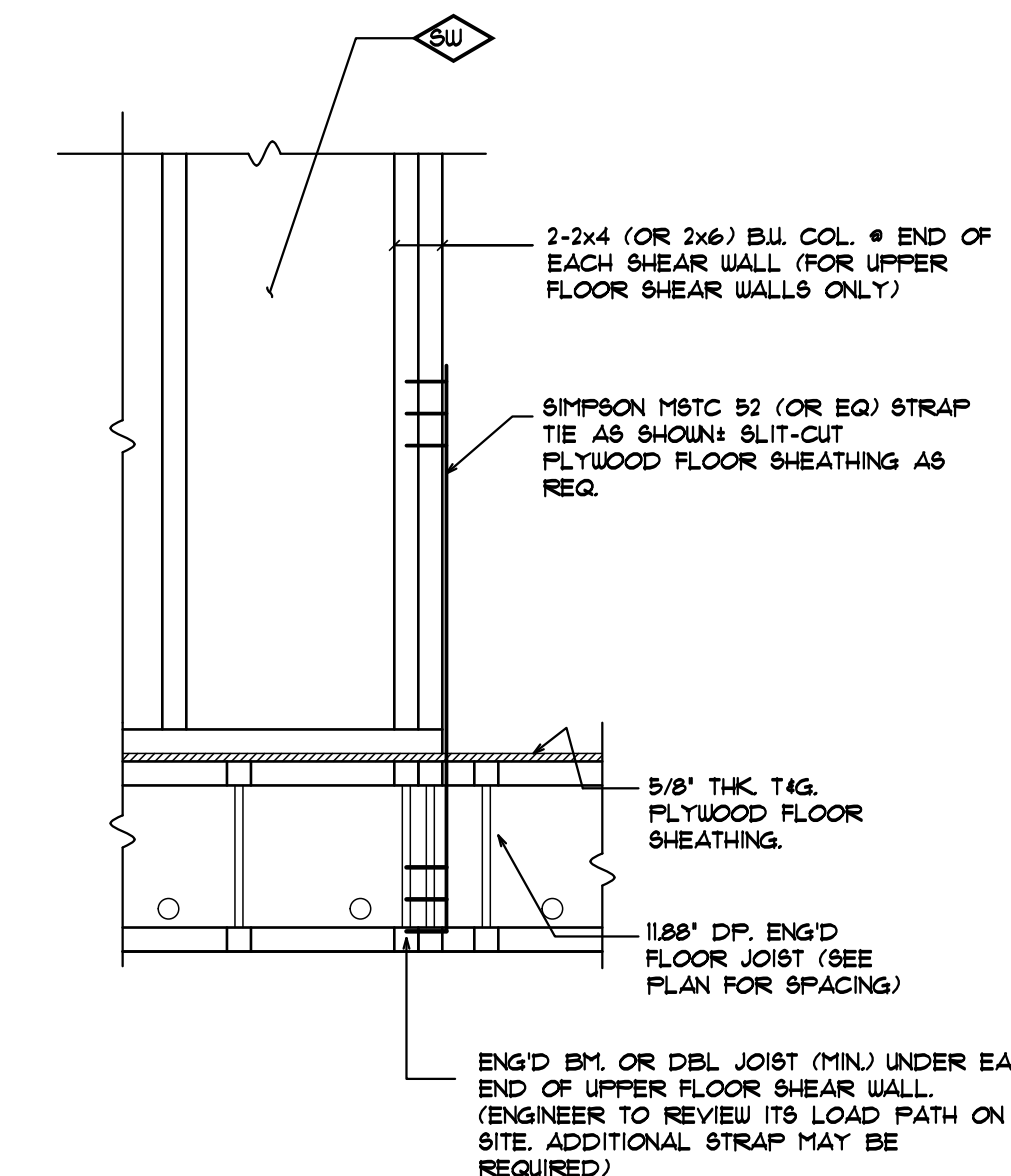
4 TYP. EXT. WALL CORNER SECTION AT FLOOR ASSEMBLY
SCALE: 1" = 1'-0"



5 EXT. ROOF/WALL CONN. DETAIL
SCALE: 1" = 1'-0"



6 UPPER FLOOR SHEAR WALL SECTION ⊥ AT BASE TO FLOOR JOIST
SCALE: 1" = 1'-0"



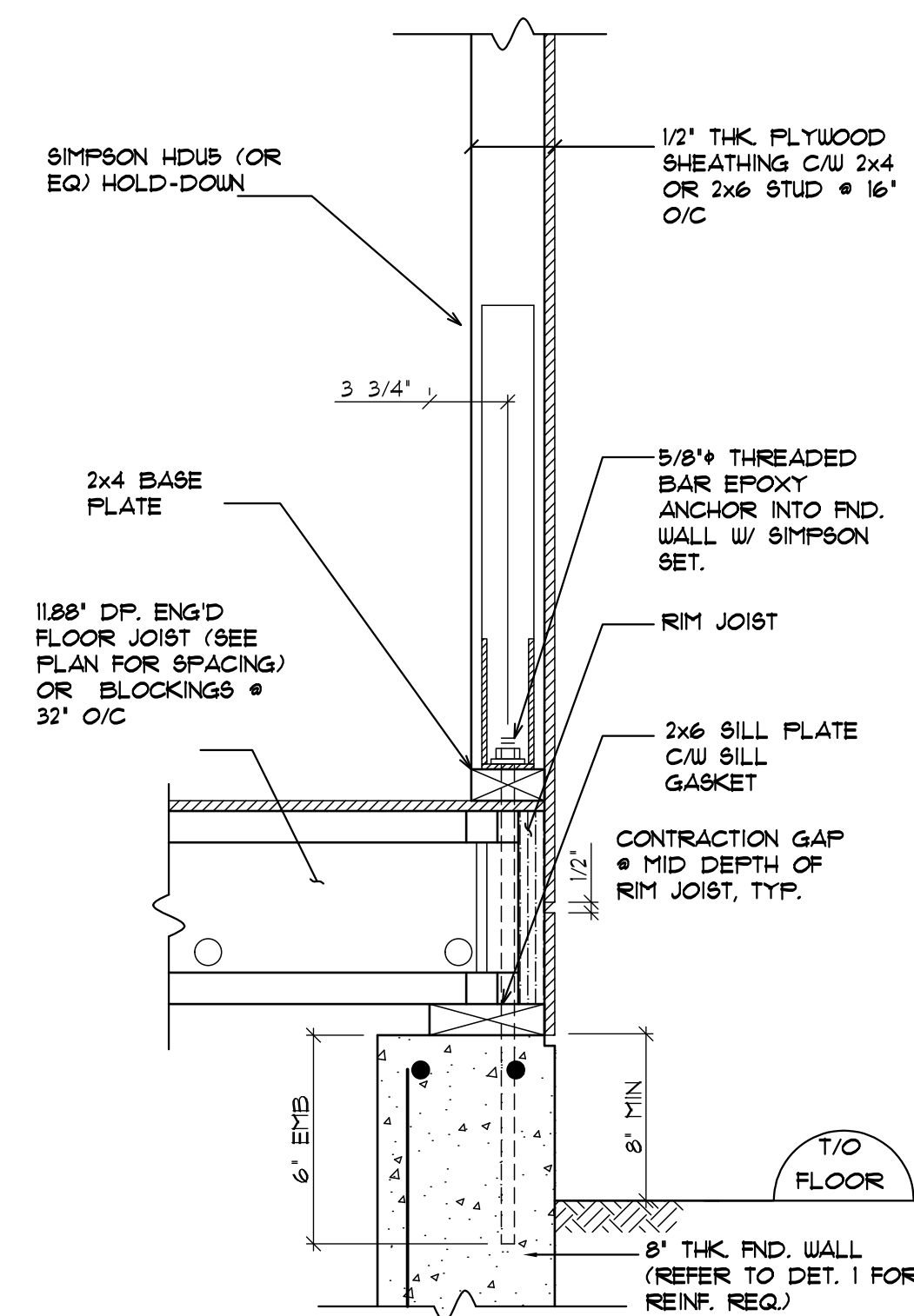
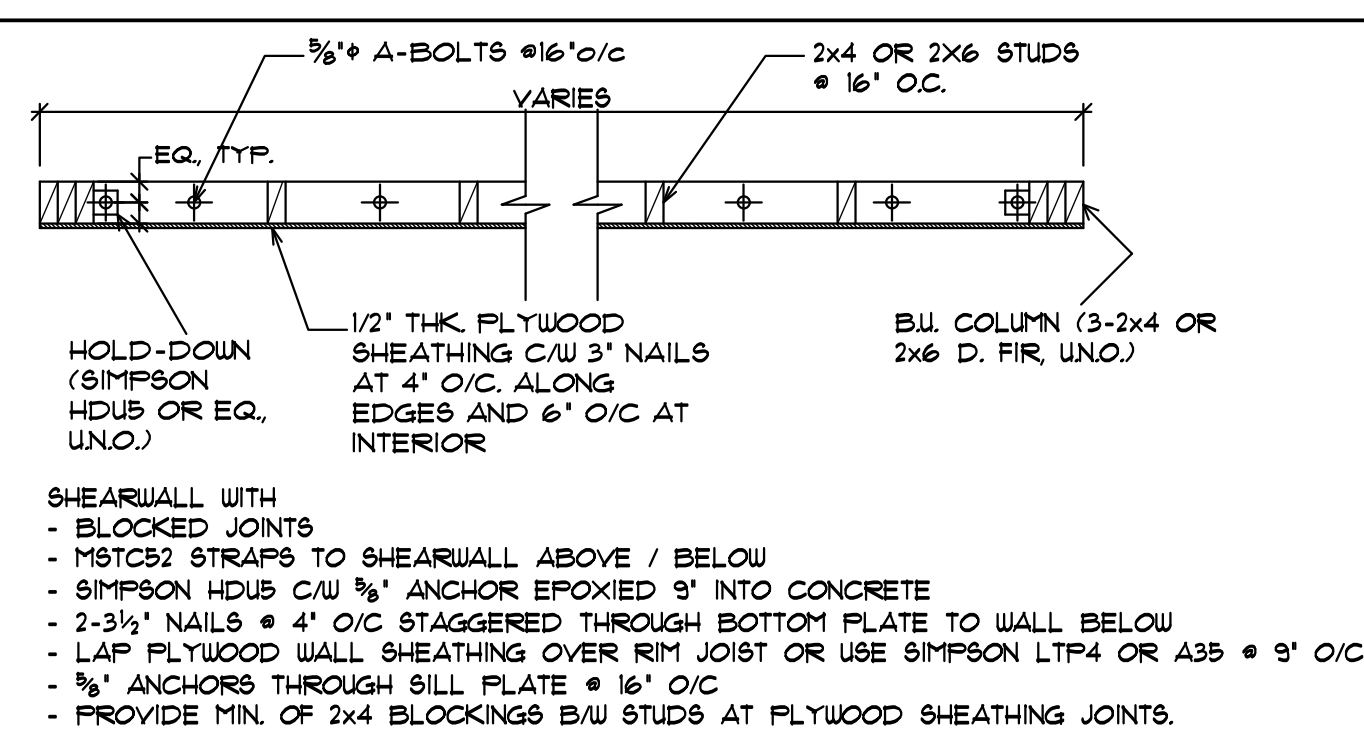
7 UPPER FLOOR SHEAR WALL HOLD-DOWN DETAIL
SCALE: 1" = 1'-0"

NOTE: ALL SHEAR WALL SUPPORT BEAMS TO BE CONTINUOUSLY ANCHOR DOWN TO FND. WITH MIN. OF 3000# UPLIFT LOAD AT EACH END

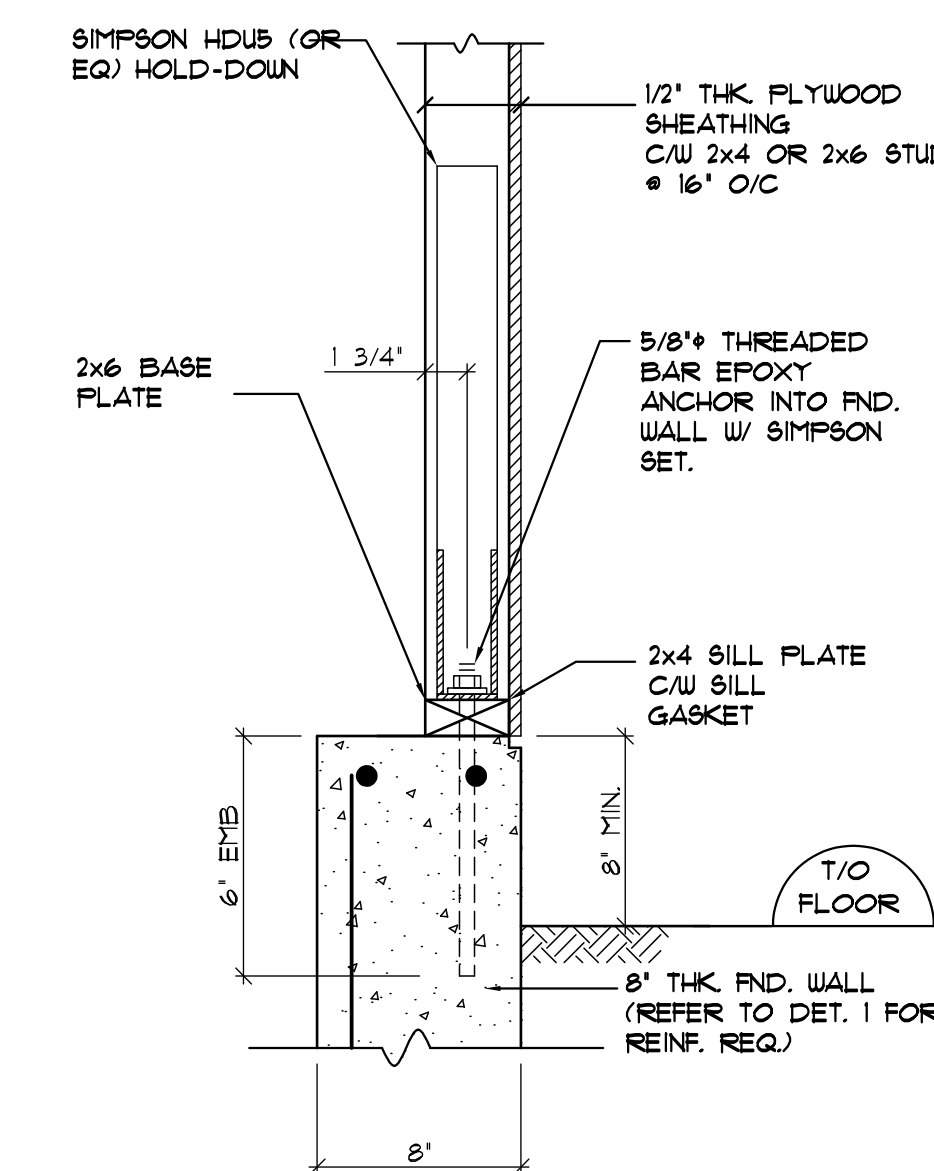
IMPORTANT NOTES:

- IT IS IMPERATIVE THAT THESE STRUCTURAL DUGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DUGS AND THAT ALL DIMENSIONS MUST CONFORM TO THOSE DUGS.
- ALL LINTELS WHERE UNSPECIFIED TO BE MIN. OF 2-2x10 No. 2 S-P-F OR BETTER.
- ALL SHEAR WALL & EXTERIOR WALL CAP & TOP PLATES ARE TO BE FASTEN W/ 3" NAILS @ 4' O/C, STAGG. AND MUST BE OVERLAP AT SPLICE LOCATIONS WITH MIN DIMENSION OF 3'-0".
- PROVIDE 2x4 BLOCKING B/W EXTERIOR WALL STUDS ADJACENT TO EA. WINDOW OPENING. BLOCKINGS ARE TO BE SAME LEVEL AS PER WINDOW SILL PLATE.
- EXTERIOR WALL SHEATHING ARE NOT BE SPLICED AT LINTEL OR BEAM JOINTS.
- AT ALL SHEER WALL IN PARALLEL DIRECTION TO ROOF TRUSS MUST HAVE ADDITIONAL TRUSS (IF REQUIRED) OVER TO TRANSFER ROOF SEISMIC LOADING.

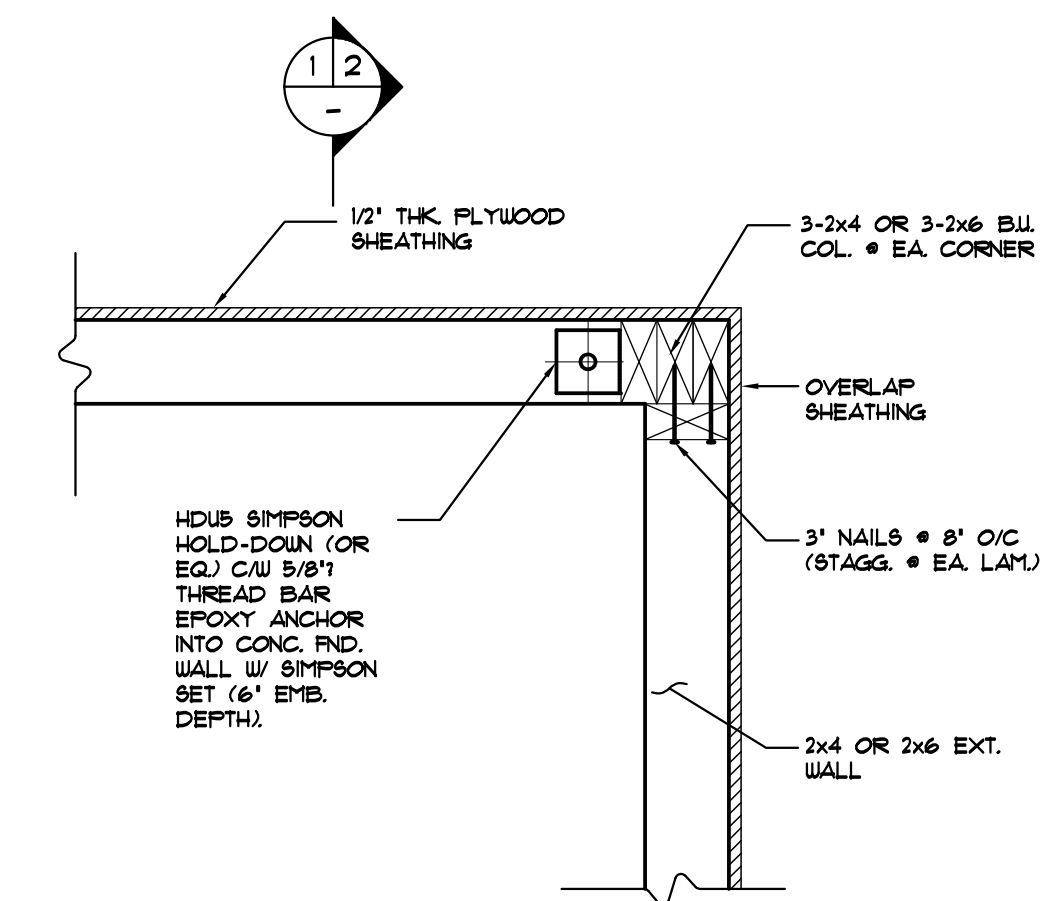
SHEAR WALL LAYOUT FOR TYPE



1 TYP. HOLD-DOWN DETAIL
SCALE: 1-1/2" = 1'-0"



2 TYP. HOLD-DOWN DETAIL AT EXT. FND. WALL
SCALE: 1-1/2" = 1'-0"



3 TYP. CORNER HOLD-DOWN DETAIL (EXT. CORNER)
SCALE: 1-1/2" = 1'-0"

NO.	REVISIONS:	DATE
1	ISSUED FOR BLDG. PERMIT	03.03.2023

SEL Engineering Limited
Consulting Engineers

201, 3003 ST. JOHN'S STREET
FORT MOODY, BC V3H 2C4
TELEPHONE: 604.463.123
FACSIMILE: 604.463.101
E-MAIL: SEL@SELENG.COM

SEAL:

(PERMIT NUMBER: 1003524)

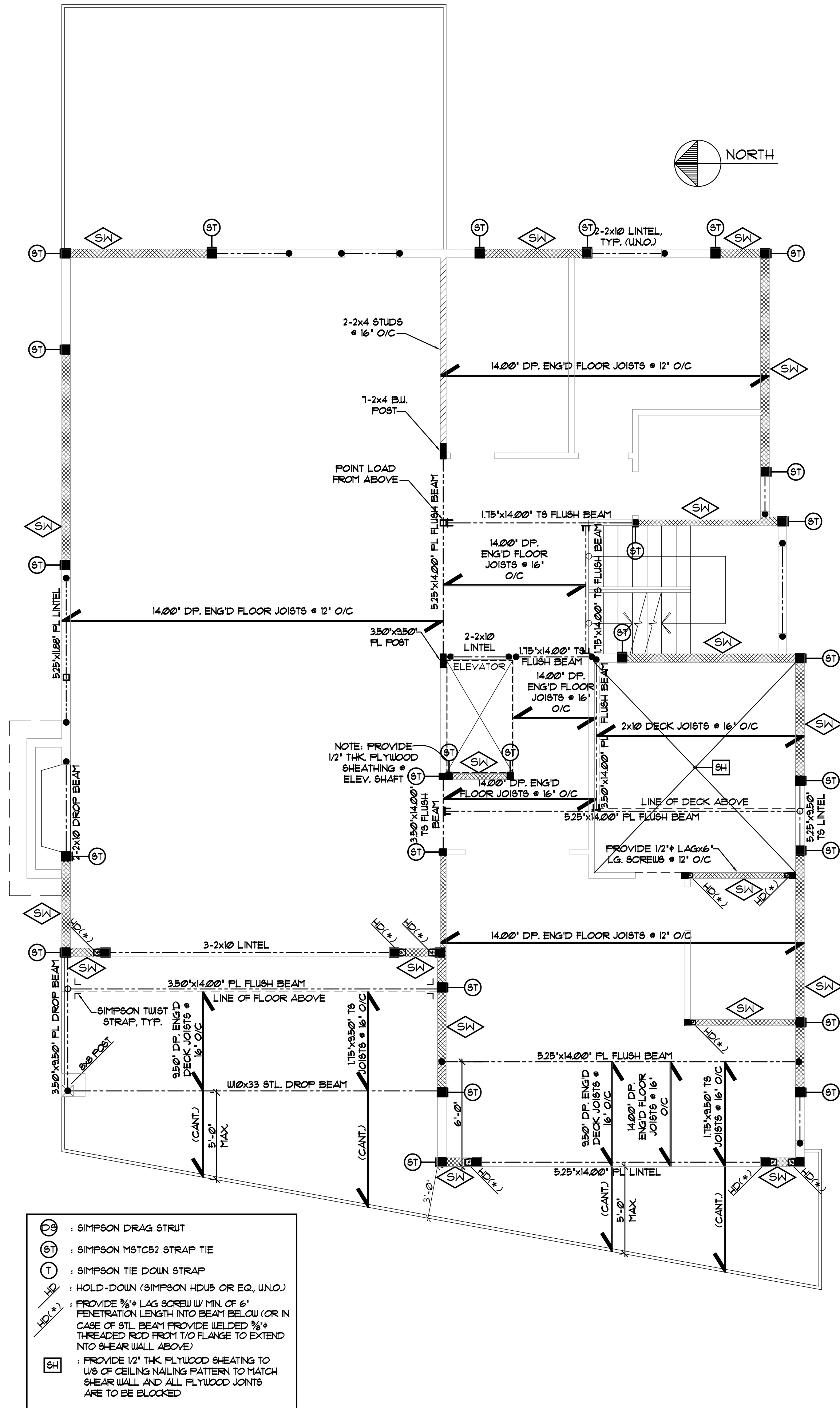
(C) COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE, AND AT ALL TIMES, THE EXCLUSIVE PROPERTY OF SEL ENGINEERING LIMITED. REPRODUCTION OR USE WITHOUT WRITTEN CONSENT IS PROHIBITED. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON PROJECT AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING. DO NOT SCALE DRAWING.

PROJECT TITLE:
NEW SINGLE FAMILY RESIDENCE AT:
4686 SUNSHINE COAST HIGHWAY,
SECHLT, B.C.

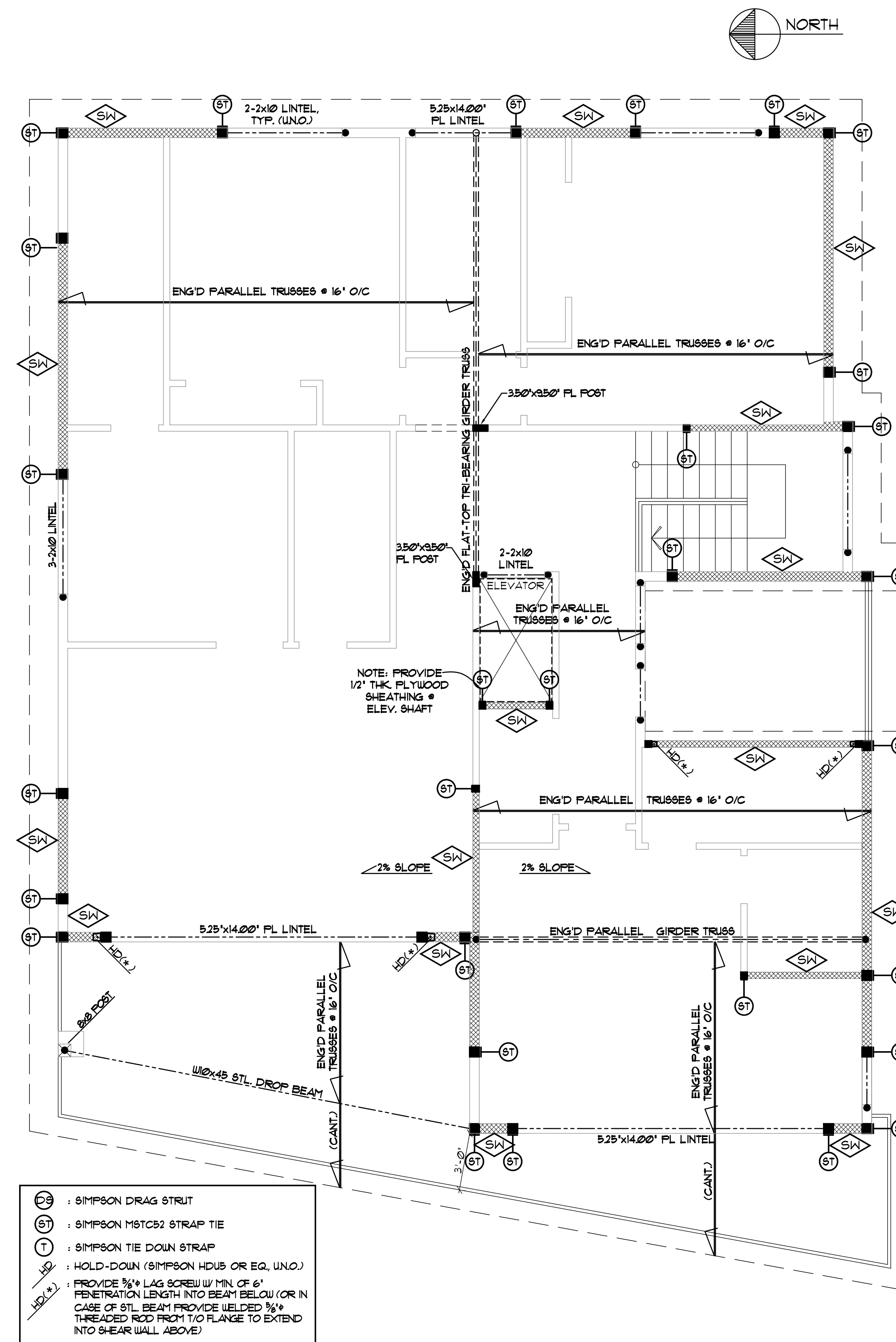
DRAWING TITLE:
NOTES AND DETAILS

DESIGNED BY: CMC
CHECKED BY: CMC
DRAWN BY: GD
PROJECT NO: C22124
DATE: 03.03.2023
SCALE: AS SHOWN
DRAWING NO:

S-2



UPPER FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

IMPORTANT NOTES:

- IT IS IMPERATIVE THAT THESE STRUCTURAL DIAGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DIAGS AND THAT ALL DIMENSIONS MUST CONFORM TO THOSE DIAGS.
- ALL LINTELS WHERE UNSPECIFIED TO BE MIN. OF 2-2x10 No. 2 S-P-F OR BETTER

REVISIONS:		
1	ISSUED FOR BLDG. PERMIT	03.03.2023
2	REVISION	05.31.2023
3	REVISION	06.17.2023
4	REVISION	08.12.2023
5	REVISION	12.01.2023
6	REVISION	06.02.2024
7	VARIANCE	08.08.2024

SEL Engineering Limited
Consulting Engineers

1207, 3003 ST. JOHN'S STREET
PORT MOODY, B.C. V3H 2C4
TELEPHONE: 604.469.3123
FACSIMILE: 604.469.3101
E-MAIL: SEL@SELENG.COM

SEAL:

(PERMIT NUMBER: 1003524)

(C) COPYRIGHT RESERVED.
THIS PLAN AND DESIGN ARE, AND AT ALL TIMES, THE EXCLUSIVE PROPERTY OF SEL ENGINEERING LIMITED. REPRODUCTION OR USE WITHOUT WRITTEN CONSENT IS PROHIBITED. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON PROJECT AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING. DO NOT SCALE DRAWING.

PROJECT TITLE:
NEW SINGLE FAMILY RESIDENCE AT:
4686 SUNSHINE COAST HIGHWAY,
SECHLT, B.C.

DRAWING TITLE:
UPPER FLOOR FRAMING PLAN
ROOF FRAMING PLAN

DESIGNED BY: CMC
CHECKED BY: CMC
DRAWN BY: GD
PROJECT NO: C22124
DATE: 03.03.2023
SCALE: AS SHOWN
DRAWING NO:

S-4

ATTACHMENT 2

From: [Richard de la Mare](#)
To: [Planning](#)
Subject: 4686 Sunshine Coast Highway. File # 3090-2024-14
Date: Monday, August 19, 2024 4:03:57 PM

Caution! This message was sent from outside your organization.

[Allow sender](#) | [Block sender](#)

I am a neighbour to the property at 4686 Sunshine Coast Highway, (that appears to be a 6 unit apartment building), and I am bewildered by its enormity, as well as concerned by how it came to grow to this size without previously being stopped by the District of Sechelt. Thankfully it was brought to your attention before being completed, And now, what do you do?

By allowing this monstrosity to be completed, it will allow further non compliant structures to take over other residential properties. The arrogance of the owner of the property in question, and the construction company that built it, must be made aware that it is mandatory to comply with the legal size requirements. To apply for a Development Variance Permit after the fact, well that is purely unacceptable and completely unethical.

Follow the rules!

Yours sincerely, Richard de la Mare.
4668 Sunshine Coast Highway, Sechelt, V7Z 0E5
[REDACTED]

From: [jahartbc](#)
To: [Planning](#)
Subject: Development Variance Permit
Date: Tuesday, August 27, 2024 7:41:15 PM

Caution! This message was sent from outside your organization.

[Allow sender](#) | [Block sender](#)

Mayor and Council

District of Sechelt

I am writing in regard to the house being built at 4686 Sunshine Coast Highway. I live next door to this structure and I understand it has been built higher than allowed regulations;

We followed all the rules twenty years ago when our home was built, so I expect others in my neighborhood to do the same. A little bit now doesn't seem like much but it has the

ability to grow faster than anticipated. In September 2023, I came home from holiday to discover my fence bordering said property gone. This was done without my knowledge

or consent. I discovered it had been demolished and thrown in the dumpster. I was informed by a worker the fence would be replaced. That was almost a year ago. The cost

of this fence was Seventeen Hundred Dollars (\$1700.00). No attempt has been made to replace it!

This massive building looms over me like a giant wall that darkens the natural light and blocks out the Sun. The size alone is threatening. Too big, too tall, too close on an

ordinary building lot in Davis Bay.

The owner has appeared to disregard the zoning bylaws that we all had to abide by when we built. Does she have special privilege? She has demonstrated by her actions

that she cares nothing for the neighbourhood nor the neighbours.

I sincerely ask that Council reject the Variance Permit for the welfare of the neighbourhood and all of Davis Bay.

Respectfully,

Joyce Hart

4690 Sunshine Coast Highway,

Sechelt., B.C.

From: [Building Department](#)
To: [Planning](#)
Cc: [Building Department](#)
Subject: FW: non compliance with height regulation
Date: Tuesday, August 20, 2024 9:46:13 AM
Attachments: [image001.png](#)
[image003.png](#)

Hello,
This concern regarding the dvp request for 4686 Sunshine Coast Highway came in to the building inbox.

Thank you,
Melody

Melody Crawford
Administrative Assistant – Building Department
604-885-1986 | 604-740-8468
PO Box 129 | 2nd Floor, 5797 Cowrie St. | Sechelt, BC | V0N 3A0

From: noreply@sechelt.ca <noreply@sechelt.ca> **On Behalf Of** Kevin Howard/Karen Janotta
Sent: Monday, August 19, 2024 12:24 PM
To: Building Department <BuildingDept@sechelt.ca>
Subject: non compliance with height regulation

Caution! This message was sent from outside your organization.

[Block sender](#)

Re: File No. 3090-2024-14 Our view from 5160 Davis Bay Road has been dramatically diminished. The structure appears to be relatively large for a single detached dwelling. Please uphold the bylaw.
----- Origin: <https://www.sechelt.ca/en/business-and-development/building-and-renovating.aspx> ----- This email was sent to you by Kevin Howard/Karen Janotta [REDACTED] through <https://www.sechelt.ca>.

Mayor and Council,

District of Sechelt

Re: Development Variance Permit (application) No. 2024-14 (4686 Sunshine Coast Highway)

We urge council to deny the application for a Development Variance Permit seeking to permit an increase to the maximum height provided for under Zoning Bylaw 580, 2022. In our view there are a number of factors that should be considered in context of any technical infractions of the bylaw in question and a 'larger' issue regarding the role of council in determining the values and setting the parameters of community life.

When considering the infraction of any physical limits set out in a bylaw we need to consider whether the infraction could have been easily avoided and why it was not avoided.

As this was a new build with absolutely no pre-existing infrastructure in place (foundations or pre-existing building elements) the building height was completely within the control of the applicant. The infraction could very easily have been avoided at many stages of the building process.

Was it possible that those involved simply didn't know that height would be an important factor in final approvals? This is highly improbable as the DoS Planning Department has historically been very clear, and at times even adamant, with those seeking building permits – be they seasoned developers, builders or citizens undertaking a DIY project. We also know that adjacent property owners were in contact with the DoS Planning Department to express concerns at an early stage of the building process and that those concerns would have been discussed with the applicant or applicant's agent (builder).

As the infraction was easily avoidable and the builder very likely was aware of the potential problem as the build-out proceeded, we are left to speculate as to why the building height was not (very slightly) adjusted at a stage of the project where those adjustments could easily be made. Why was it impossible to meet the preset, well-known standards of Zoning Bylaw 580? Simply cost savings? Simply convenient? Neither cost saving nor convenience meet the standards of a determinative, unavoidable cause for bylaw infraction nor as justification for an after-the-fact permissive variance granted by Council.

Of course, the applicant will likely want to claim that a 40 cm height infraction will not appreciably alter the view or cast appreciable shadows on other properties in the neighbourhood. It may also be claimed that this infraction will be of little concern to those passing by in vehicles in a 50 km zone – most of whom will be looking in the other direction, either eyes on the road or on the viewscape over the water. We know this, in fact, as the Development Variance Permit application asks Council to ignore and overturn the 'merely' technical requirements of Zoning Bylaw 580. The applicant apparently feels that such requirements are not 'important' nor the crux of the issue or they would have complied during construction.

We agree that the technical infraction of 40 cm in height is not the central question before Council and that it is not the crux of the decision that is yours to make.

Rather, **this decision asks Council to consider the values and shared agreements within our community.** It quite explicitly places Council in its central role of governing for the District of Sechelt. Do we live in a community that values adherence to agreed upon rules and regulations? Do we value the 'rule of law' over the whims or self-interest of individuals or the vagaries of the council of the day? Will applying these shared and agreed upon rules help us build and improve our community? Will we have more or

less trust in our local government institutions if Council overrides the well-known, easily accessible, previously agreed upon 'rules' we have in place to help us get along? In strictly moral and ethical grounds, do we reward those who violate bylaws and then distribute harmful consequences among those who adhere to them?

Council's decision becomes ever more complicated if your consideration is primarily on the technical infraction. Once the rules are breached, where do you draw the line? Any consequent decision becomes entirely arbitrary – 10% over the line? 20%? What rationale do you invent to justify those who cannot or will not follow simple, well-documented and agreed upon codes? If Council rewards those who cannot or will not complete their projects within community standards, what are you saying to the vast majority who adjust their plans and building projects to meet those community codes?

Governance is not always easy – precisely because it is about values and how we do things. Councils are elected to consider, maintain and reinforce the positive values that help us live together in a community. Do we make the effort to live in community (with all the constraints and adjustments that implies) or is it simply, as one neighbour stated in conversation on this issue – “just the wild west.”

Before concluding your consideration, it may be useful to compare another new build that occurred in the same neighbourhood within the same time frame. 4660 Sunshine Coast Highway is only 6 properties to the south and east along the road from 4686 SCH. Both properties replaced low profile one storey cottages built on a crawlspace. Both properties were subject to the new bylaw requirements of building the first floor above potential flood waters and thus required infill to raise the lot level. Both properties faced the imperatives of building a larger, more substantive and high quality home to match and respond to the high value/cost of land and contemporary standards. 4660 SCH managed to do this in a way that stayed within the requirements of Bylaw 580. Yes, it dwarfs the heritage cottage immediately beside it and the home behind it on Whitaker. Yet it is considered a welcome addition to the area, much commented on and praised by those walking along the seawall. Those that were involved in designing and building 4660 SCH clearly understood what planners used to call neighbourhood 'form and character'.

For what it is worth, both new constructions are directly within the viewscape, at eye-level when sitting or standing on the main floor, of our home. We watched the construction of both buildings with some interest and curiosity. In fact, our private interests are most harmed by the new home at 4660 SCH which now blocks a previous view of the water which was open and visible above the former cottage. 4686 SCH is somewhat more obscured by trees and in the viewscape of windows we do not use quite so much for viewing. Nevertheless, the public and collective values far outweigh any impact we may experience with changes to our view. 4660 SCH should be held up as an exemplar of quality new building in an older neighbourhood in the first stages of transition. 4686 SCH, not so much.

Finally, we were surprised to note in the letter from DoS that 4686 SCH has been under a Stop Work Order due to non-compliance. We do not know the details of that order but the existence of such an order was certainly not noticeable from any less activity on the site. In our view this demonstrates, in yet another way, the flagrant disregard some have for the communities agreed upon rules and regulations and the 'authority' of local government.

Thank you for considering our perspective.

Bruce Milne

Irene Lew

5135 Davis Bay Road, Sechelt.

From: [bill_prowse](#)
To: [Planning](#)
Subject: Development Variance Permit 2024-14
Date: Wednesday, August 28, 2024 3:10:12 PM

Caution! This message was sent from outside your organization.

[Allow sender](#) | [Block sender](#)

My name is Bill Prowse. I live at 4692 Whitaker Road.
My interests are affected if anyone is allowed to contravene the zoning regulations without consequence. If this is allowed the regulations become meaningless.
Yours truly
Bill Prowse

From: [Laurie Rolland](#)
To: [Planning](#)
Subject: variance permit no.2024-14
Date: Saturday, August 24, 2024 1:26:38 PM

Caution! This message was sent from outside your organization.

[Allow sender](#) | [Block sender](#)

To the planning department

I live at 4676 Whitaker Rd. Sechelt

This letter concerns the request for Development Variance Permit No. 2024-14 (4686 Sunshine Coast Highway)

My partner and I watched with growing interest as the building on the above lot grew in size and height.

It appears that an error of .5 metres was in fact intentional.

The rules are in place for all of us, not just those who want things to be the way they want them; those who flout the rules and then cause trouble and expense for the District of Sechelt. There are reasons these rules exist otherwise it is bedlam.

It is quite likely that another builder will take note of your decision, and if you grant this permit, it will thereby affect the interests of all nearby residents with over height buildings.

I would strongly urge you to deny this variance permit.

Of interest is our experience when building our ceramic/wood studio on our property in 1999. We were told by the then inspector that if we were even one inch over height he would make us take off the roof. We of course complied, never intending not to.

Respectfully
Laurie Rolland

From: [MAIL INC.](#)
To: [Planning](#)
Subject: Development Variance Permit
Date: Tuesday, August 27, 2024 9:42:34 AM

Caution! This message was sent from outside your organization.

[Allow sender](#) | [Block sender](#)

Mayor and Council

District of Sechelt

I live at 4689 Whitaker Road, Davis Bay, and I am writing to express my concern regarding the application to increase the height of said property:
4686 Sunshine Coast Highway - LOT 3, BLOCK 4 DISTRICT LOT 1356 PLAN 7006, PID 010-741-429. I ask Council to evaluate this application and to take into consideration the over-all effect that it has and will have on everyone in the neighbourhood.

The current structure with its' size and height, too big and too tall, is a big box on a sea of sand. For those us who live behind, it blocks the Sun, the Sea and the pleasure of watching the Cruise Ships far out from shore. The property is now devoid of greenery for the little critters to roam in, trees for the birds to nest in. It spoils the charm and distinct flavour that Davis Bay has always treasured. The tranquil, serene existence fostered by those of us who treasure (and respect), what we have and have endeavoured to retain. A beautiful beach, a charming sea wall, oceanside cottages and the sunsets. This building has diminished that for many of the surrounding neighbours.

It has been described by many, including visitors and tourists, as being...'vulgar- too much in too small a space - definitely NOT an asset to Davis Bay!'

Down the Highway at 4660 Sunshine Coast Highway, a new home was built about the same time. The house is a charming style, and I am told, it was built according to the bylaws. It enhances the beachfront of Davis Bay while staying within the necessary guidelines that are required.

When we built our home many years ago, we had to adhere strictly to the building codes. We submitted our plans THREE times to the Building Inspector before they were accepted. Do you know what the prime concern was? The Height! Even then! Every one of us who has built in Davis Bay has had to obey the rules, why shouldn't this owner? She has shown a complete indifference and a total lack of concern for her neighbours or the neighbourhood.

If this Variance Permit is granted, it will open up the doors to others who will flaunt the bylaws and rules and worry about the consequences later (if there are any!)
I ask Council to reject this application and continue to uphold our Bylaws.

Respectfully submitted,

Jo-Anne Sheanh

REQUEST FOR DECISION

TO: Council **MEETING DATE:** September 4, 2024
FROM: Ian Holl, Development Planning Manager
SUBJECT: Development Permit with Variance for 6217 Highmoor Road
FILE NO: 3060-2024-11

RECOMMENDATION

That Development Variance Permit 2024-11 be approved and issued, subject to removal of retaining walls from the public road right of way and adjacent private property.

PURPOSE

The owners of the property have applied for a development variance permit for individual wall height, combined walls height ratio and setback regulations for a series of small retaining walls that were constructed on the property. Portions of the walls were also encroaching onto adjacent private and public property. No development permit area applied to the property, but retaining walls that are 1.2 m or higher do require a building permit. All encroaching walls must be removed and relocated within the subject property boundaries.

OPTIONS

1. Deny the application and direct enforcement and removal of non-conforming portions of the walls.
2. Defer the application pending additional information.

DISCUSSION

Summary

A Development Variance Permit application (DVP) is required to allow retaining walls that are over height (greater than 1.2 m for individual walls), do not meet the 2H:1V ratio for terraced walls, and/or do not comply with property line setbacks (for walls 1.2 m or higher).

Legislative Context

Local governments have the authority to consider applications by owners to vary provisions of a bylaw as outlined in Division 9 (Development Variance Permits) of the Local Government Act. A local government may vary a land use regulation in accordance with applicable guidelines however, the level of density or use of the land may not be altered.

Background

Table 1 – Application Summary

Applicant	David Chen and Wen Yan Lu
Owner	David Chen and Wen Yan Lu
Civic Address	6217 Highmoor Road
Legal Address	LOT 2 DISTRICT LOT 1473 PLAN LMP18862, PID 018-953-832
Size of Properties	~919 m ²
OCP Designation	Residential
Zoning Designation	R1
DP Areas	None

ANALYSIS

A building permit application for a dwelling was completed, but the plans did not show any retaining walls of any kind. Retaining walls then appeared on the property and extended into the District public road right of way as well as onto neighbouring private property. In general, these retaining walls did not comply with zoning regulations, did not have a building permit where applicable, and encroached onto adjacent public and private land.

It was determined that the walls were not required to support the dwelling or resolve slope stability issues so there is a rationale for considering bylaw enforcement action rather than approving the variance.

If Council decided to deny the DVP application, then bylaw enforcement action could be directed that would require all the retaining walls to be removed and/or reconstructed to comply with zoning and building bylaw requirements, and regrading of the property.

Several wall sections are up to 1.5 m in height, and do not meet the 2 Horizontal:1 Vertical ratio for terraced walls. Walls that are 1.2 m in height or more must comply with property line setbacks. The DVP then contemplates allowing retaining walls up to 1.5 m in height, retaining walls that do not meet the 2H:1V ratio, and retaining walls with reduced setbacks down to 0.1 m in several locations.

If Council should approve this Development Variance Permit the owners would be required to remove the encroaching portions, apply for building permits as applicable, and a \$10,000 security deposit would be required to ensure compliance with the DVP.

If this DVP is denied by Council, the owners would be required to remove the encroaching portions, reduce the retaining walls to a height of 1.2 m or less, relocate all 1.2 m high walls to meet accessory building setbacks (1.5 m), and apply for building permits as applicable.

POLICY AND BYLAW IMPLICATIONS

Alongside the remedial work, a variance would be required to bring the development into compliance with the Zoning Bylaw. Building permits are also required for Building Bylaw compliance.

SUSTAINABILITY PLAN IMPLICATIONS

None.

STRATEGIC PLAN IMPLICATIONS

None.

FINANCIAL IMPLICATIONS

None.

COMMUNICATIONS

Owners and occupiers within 100 m of the subject property were notified of the intention for Council to consider Development Variance Permit 2024-11 as required under Section 499 of the *Local Government Act* and Planning Procedures Bylaw No. 566, 2018.

No comments have been received to date.

Respectfully submitted,

Ian Holl, MCIP, RPP
Development Planning Manager

Attachments:

1 - Development Variance Permit 2024-11

DEVELOPMENT VARIANCE PERMIT NO. 2024-11

1. This Development Variance Permit is issued to:

Wen Yan Lu

6217 Highmoor Road

Sechelt, BC V7Z 0L1

2. This Development Variance Permit is issued subject to compliance with all the applicable Bylaws of the District of Sechelt except as specifically varied or supplemented by this Permit.
3. This Development Variance Permit applies to, and only to, the property within the District of Sechelt as described below, and all building structures and other developments thereon:

Parcel Identifier: PID 018-953-832

Legal Description: LOT 2 DISTRICT LOT 1473 PLAN LMP18862

Addressed as: 6217 Highmoor Road

4. Bylaws of the District enacted under Section 479 of the *Local Government Act*, as amended from time to time, are varied or supplemented as described below.
 - (a) Zoning Bylaw No. 580, 2022 is varied for the property noted above to achieve conformance for the retaining walls shown on Attachment 1.

The variance is as follows:

- i. Section 2.13.1 – to increase the maximum height of a retaining wall from 1.2 m to 1.5 m as indicated on the site plan included as Attachment 1.
- ii. Section 2.13.2 – to reduce the height ratio for a combined system of retaining walls to less than 2 horizontal to 1 vertical as indicated on the site plan included as Attachment 1.
- iii. Section 1.1.4 – to reduce the minimum setback for an accessory structure for front and interior side parcel lines from 1.5 m down to 0.1 m as indicated on the site plan included as Attachment 1.

CONDITIONS OF PERMIT

5. The Property and the works shall be developed strictly in accordance with the following terms, conditions and provisions of this Development Variance Permit and any plans and specifications attached to this Development Variance Permit shall form part of this Development Variance Permit:
 - a) Attachment 1 – Site Plan
 - b) Removal and/or relocation of all retaining structures that currently encroach onto neighbouring private property and District of Sechelt public road right of way.
 - c) Submission of a Certificate of Location Survey to confirm the location of the walls once all remedial works have been completed.
6. Provide a security bond in the amount of \$10,000 (ten-thousand dollars) in the form of a bank draft or certified cheque. This security bond will be held to ensure that the work has been satisfactorily completed in accordance with the plans and specifications in Attachment 1 and the conditions of this permit.
7. Notice of this permit shall be filed at the Land Titles Office under the authority of Section 503 of the *Local Government Act* and upon such filing, the terms of this permit or any amendment hereto shall be binding on all persons who acquire an interest in the lands affected by this permit.
8. **THIS PERMIT IS NOT A BUILDING PERMIT.**
9. **THIS PERMIT IS NOT A DEVELOPMENT PERMIT.**

Authorizing Signature:

Authorizing Resolution:

Date of Approval:

Date of Issue:

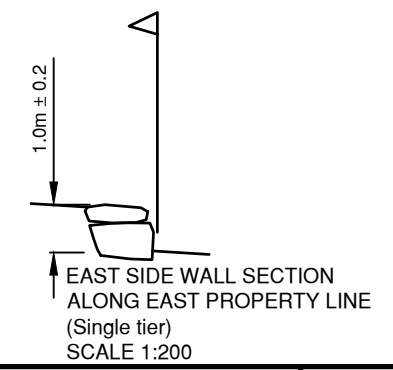
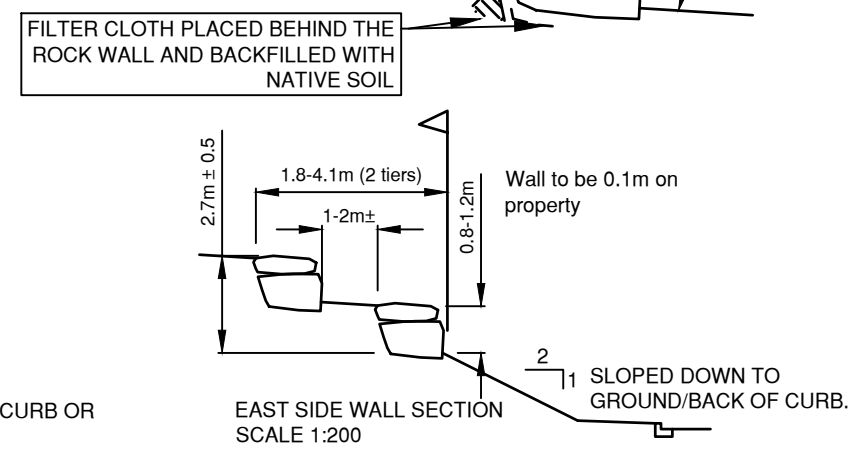
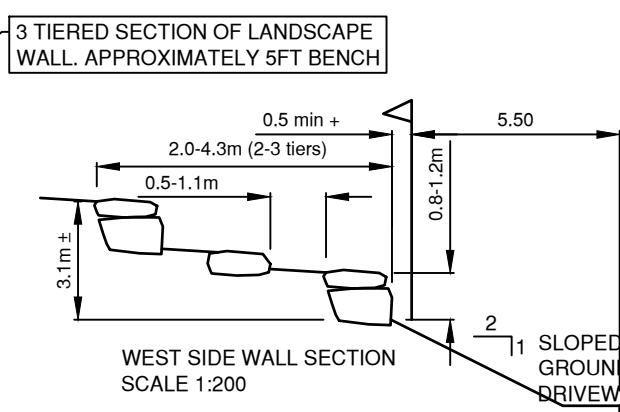
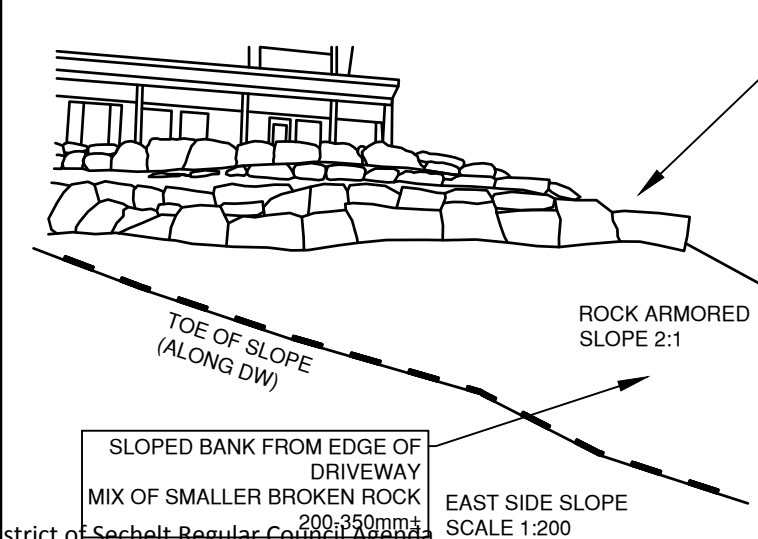
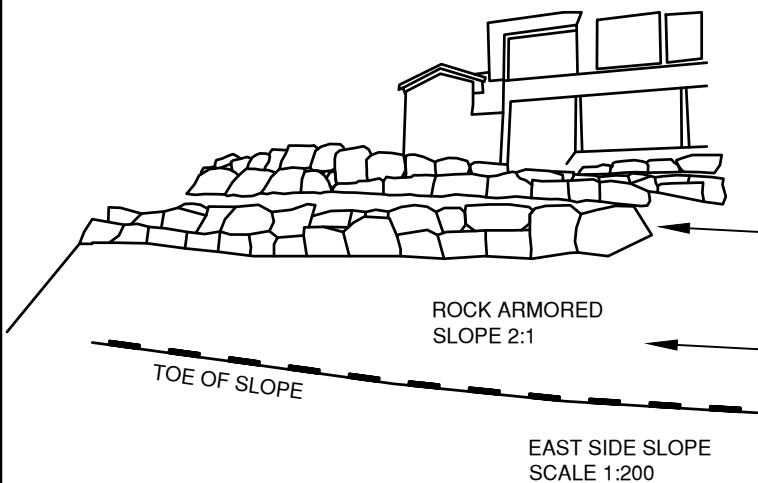
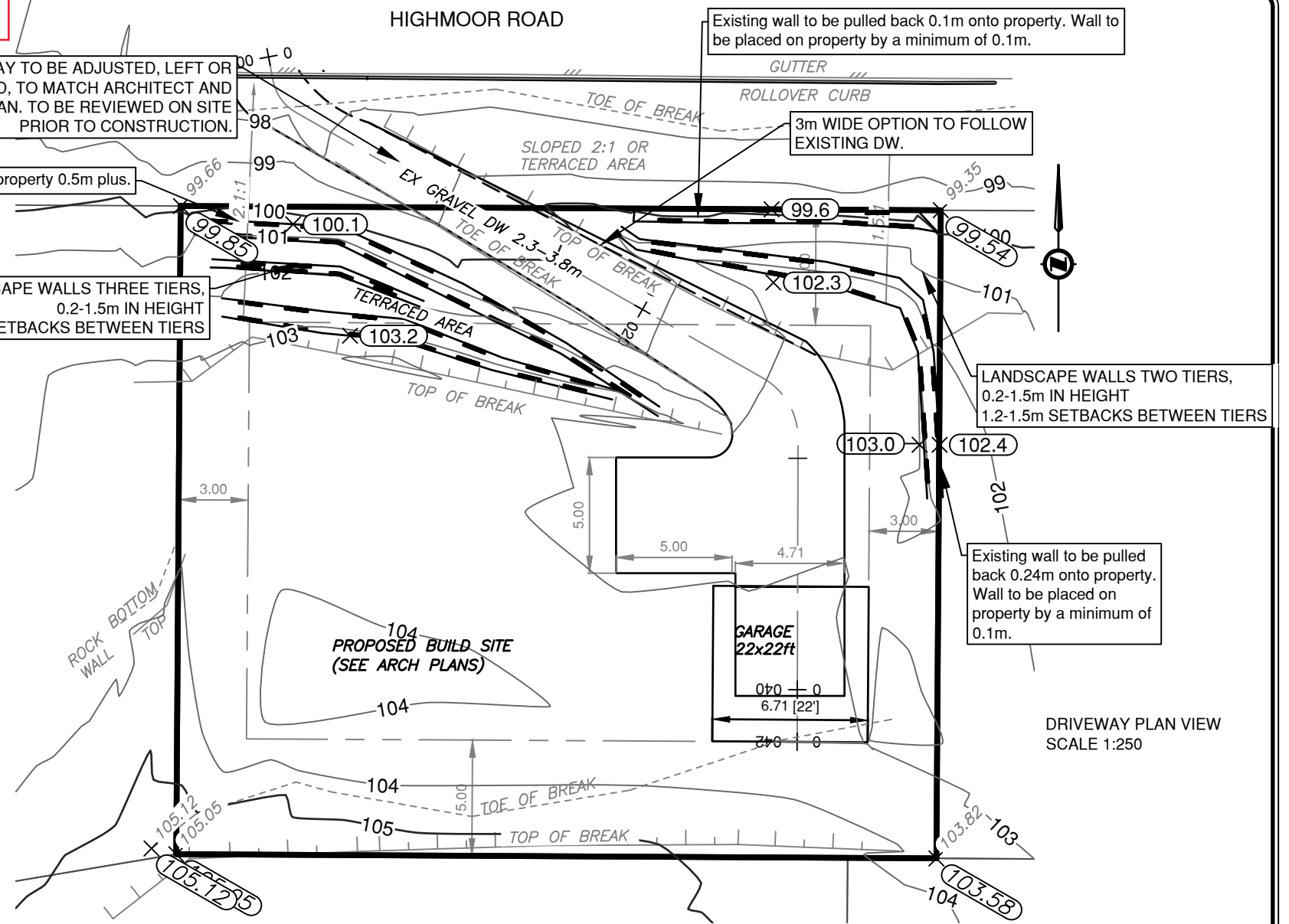
Andrew Allen

Director of Planning & Development

NOTES RE LANDSCAPE WALLS

- LANDSCAPE WALL WERE CONSTRUCTED ON THE EAST AND WEST SIDES OF THE DRIVEWAY.
- SUNCO WAS NOT PRESENT AT THE CONSTRUCTION OF THE WALLS AND ARE PROVIDING A RECORD DRAWING OF THE LAYOUT.
- AS PER THE ARYA ENGINEERING FIELD REPORT THE WALLS EXCEED 4.5m FROM THE HOUSE AND ARE NOT LOADED BY THE RESIDENTIAL STRUCTURE. AND THE STRUCTURE DOUSE NOT DEPEND ON THE PERFORMANCE OF THE WALLS.
- TWO GRAVITY BOULDER-SKIPPED WALLS WERE CONSTRUCTED AS LANDSCAPE WALLS.
- WALLS WERE PROPOSED PRIOR TO JUNE 2023 CHANGE TO BYLAW REGARDING WALLS AS ORIGINAL DRIVEWAY SUBMISSION.
- THE EAST SIDE WAS CONSTRUCTED OF TWO TIERED STACKED ROCK WALLS ABOUT HALF WAY UP THE SLOPE FROM THE PROPERTY LINE.
- THE SLOPE FRONTAGE IS AT AN APPROXIMATE 2:1 SLOPE.
- THE EAST WALL CONSISTS OF TWO TIERS OF WALL, WITH THE LOWER TIER BEING 0.8m-1.2m IN HEIGHT
- THE STEP BACK FROM THE LOWER TIER TO THE BASE OF THE UPPER TIER IS ABOUT 1.6m
- THE UPPER TIER GOES FROM THE FRONT AND WRAPS AROUND AT THE EAST END AND TO THE SOUTH WITH A HEIGHT OF APPROXIMATELY 0.2-1.5m
- THE WALL ENCROACHES ON THE R/W BY 0.1m AND NEIGHBORING PROPERTIES BY 0.24m AND IS TO BE PUSHED BACK ONTO PROPERTY BY AT LEAST 0.1m OFF PROPERTY LINES.
- THE WEST SIDE WAS CONSTRUCTED WITH THREE TIERS
- THE LOWER TIER VARIES FROM 0.6-1.2m IN HEIGHT
- THE MID TIER IS ONLY COVERED ABOUT 2/3 OF WESTERN SYSTEM AND IS SET BACK ABOUT 1.6m FROM THE TOP OF THE LOWER TIER AND ONLY ABOUT 0.6m IN HEIGHT.
- THE UPPER SECTION IS ABOUT 0.2-0.6m IN HEIGHT AND SET BACK BETWEEN 1.2-1.9m FROM THE WALL BELOW.
- WALL IS 0.5m ON PROPERTY.
- ARYA ENGINEERING DID A COUPLE TEST PITS ABOUT 1.0m FROM TOP OF THE EAST AND WEST SECTIONS. SOIL CONDITIONS WERE OF NATURAL UNDISTURBED TILL-LIKE SOIL AND WAS ENCOUNTERED AT 0.5-0.6m DEEP AND APPROXIMATELY 0.6m HIGHER THAN THE TOE OF THE UPPER TIERS.
- BACKFILL MATERIALS WERE NOTED TO BE BUCKET-TAMPED AND CONSISTED OF A WOVEN FILTER CLOTH AND CRUSHER DUST AND EXTENDS ABOUT 1.2M BACK FROM THE WALL.
- CONTRACTOR MANUALLY PERFORATED THE FILTER CLOTH TO ALLEVIATE ANY HYDROSTATIC LOADING.

ATTACHMENT 1



SECTION BETWEEN WALLS GRADED TO THE FRONT WALL 2%± AND COVERED IN BARK MULCH. APPROXIMATELY 0.5-1.5 BENCH. OTHERWISE SLOPED AT 2:1 TO PROPERTY LINE.

NO.	DATE (DD/MM/YYYY)	REVISIONS	BY
05			xx
04			xx
03			xx
02	17/06/2024	ADDED COMMENTS FOR VARIANCE APPLICATION	MC
01	23/04/2024	RECORD DRAWING OF LANDSCAPE WALLS	MC

LANDSCAPE WALLS			
LOT LAYOUT			
LOT 2, DL 1473, PLAN LMP18862			
6217 HIGHMOOR RD, SECHLT, BC			
DESIGN: MC	DRAWN: MC	APPR: MC	DATE: 29/04/2021

PROJECT NO.	2021-036
DWG. NO.	01
REV. NO.	02
SCALE:	AS SHOWN HOR. 1:1000, VER. 1:14

REQUEST FOR DECISION

TO: Council **MEETING DATE:** September 4, 2024
FROM: Ian Holl, Development Planning Manager
SUBJECT: Development Permit with Variance for 7071 Porpoise Drive
FILE NO: 3060-2024-04

RECOMMENDATION

That Development Variance Permit 2024-04 be approved and issued.

PURPOSE

The owners of the property have applied for a development variance permit (DVP) for a large retaining wall to be installed along the northern boundary of the property adjacent to the public beach access trail. The variance is required for a significant height increase for the wall system, as well as reduced property line setbacks. Additionally, the property owners applied for a development permit for the retaining wall and related works. Issuance of the development permit is delegated to the Director of Planning and Development.

OPTIONS

1. Defer the application pending additional information.
2. Deny the application.

DISCUSSION

Summary

Zoning Bylaw No. 580, 2022 limits retaining wall heights to 1.2 m for individual walls, and a terraced system of walls to a ratio of 2 horizontal to 1 vertical (2:1). Walls that are 1.2 m or higher need to comply with property line setbacks for accessory structures. The DVP is needed to consider an increase in height as well as encroaching within the 1.5 m setback. A separate Development Permit application (DP) is required to address the works themselves regardless of the outcome of the DVP application.

Legislative Context

Local governments have the authority to consider applications by owners to vary provisions of a bylaw as outlined in Division 9 (Development Variance Permits) of the *Local Government Act*. A local government may vary a land use regulation in accordance with applicable guidelines however, the level of density or use of the land may not be altered.

Background

Table 1 – Application Summary

Applicant	Hamilton Fine Homebuilding
Owner	Ken and Noreen Moss
Civic Address	7071 Porpoise Drive
Legal Address	LOT 20 DISTRICT LOT 6214 PLAN VAP13644, PID 008-530-327
Size of Properties	~1,750 m ²
OCP Designation	Low Density Residential
Zoning Designation	R1
DP Areas	Development Permit Area No. 2 (watercourse habitat and hazards), Development Permit Area No. 3 (marine foreshore), Development Permit Area No. 4 (rockfall hazards), Development Permit Area No. 5 (steep slopes)

ANALYSIS

Planning, Engineering, Building, and Parks staff have reviewed the application and worked with the applicants to address a number of issues given the proximity of the public beach access trail. The applicants have undertaken significant work to consider different options to address the slope stability issues on the property. While it would be possible to comply with the retaining wall heights in the zoning bylaw, such an approach would require substantially more intensive and extensive excavation on the property.

Based on the current proposal, staff have no outstanding concerns with the proposed variance request. There will still be further work on the Development Permit application. However, in general both the DVP and DP applications are aligning with the objectives and guidelines of the Development Permit Areas.

The applicant is seeking to increase the maximum height of retaining wall sections from 1.2 m to 3, 4, and almost 5 m along the public trail boundary. The wall returns into the property would also need to be varied from 1.2 m to 1.5 and 2 m for sections parallel to the waterfront. At least one section of the terraced wall system would also not meet the 2H:1V ratio in the zoning bylaw. The setback along the trail boundary also needs to be reduced down to 0 m though it should be noted that no proportion of the wall (e.g. footings) can cross the property line.

The Development Permit application would address a number of issues including:

- Assurance that the works will not use the District trail, nor negatively impact it without remediation.
- Establishment of tree protection zones.
- Establishment of measures to ensure that ground disturbance/excavation work doesn't cause material to spill over into the trail, riparian area, or marine foreshore.
- Landscape bond would be held for a minimum of 3 years to cover the work required to restore, monitor, and maintain the vegetation as per the qualified professional report.

POLICY AND BYLAW IMPLICATIONS

Overall, the proposed development is consistent with the OCP and Zoning Bylaws. A variance is required to address the Zoning Bylaw retaining wall height and setback issues.

SUSTAINABILITY PLAN IMPLICATIONS

None.

STRATEGIC PLAN IMPLICATIONS

None.

FINANCIAL IMPLICATIONS

None.

COMMUNICATIONS

Owners and occupiers within 100 m of the subject property were notified of the intention for Council to consider Development Variance Permit 2024-04 as required under Section 499 of the *Local Government Act* and Planning Procedures Bylaw No. 566, 2018.

No comments have been received to date.

Respectfully submitted,

Ian Holl, MCIP, RPP

Development Planning Manager

Attachments:

1 - Development Variance Permit 2024-04

DEVELOPMENT VARIANCE PERMIT NO. 2024-04

1. This Development Variance Permit is issued to:

Ken and Noreen Moss
21756 – 122nd Avenue
Maple Ridge, BC V2X 3W9

2. This Development Variance Permit is issued subject to compliance with all the applicable Bylaws of the District of Sechelt except as specifically varied or supplemented by this Permit.
3. This Development Variance Permit applies to, and only to, the property within the District of Sechelt as described below, and all building structures and other developments thereon:

Parcel Identifier: PID 008-530-327

Legal Description: LOT 20 DISTRICT LOT 6214 PLAN VAP13644

Addressed as: 7071 Porpoise Drive

4. Bylaws of the District enacted under Section 479 of the *Local Government Act*, as amended from time to time, are varied or supplemented as described below.
 - (a) Zoning Bylaw No. 580, 2022 is varied for the property noted above to achieve conformance for the retaining walls shown on Attachment 2.

The variance is as follows:

- i. Section 2.13.1 – to increase the maximum height of a retaining wall from 1.2 m to up to 5 m in some sections as indicated on the drawings included as Attachment 2.
- ii. Section 2.13.2 – to reduce the height ratio for a combined system of retaining walls to less than 2 horizontal to 1 vertical as indicated on the drawings included as Attachment 2.
- iii. Section 1.1.4 – to reduce the minimum setback for an accessory structure for an exterior side parcel lines from 3 m down to 0 m as indicated on the drawings included as Attachment 2.

CONDITIONS OF PERMIT

5. The Property and the works shall be developed strictly in accordance with the following terms, conditions and provisions of this Development Variance Permit and any plans and specifications attached to this Development Variance Permit shall form part of this Development Variance Permit:
 - a) Attachment 1 – Property Location
 - b) Attachment 2 – Site Plan, Elevations, and Cross Sections
 - c) Attachment 3 – Geotechnical Assessment
 - d) Attachment 4 – Revegetation Plan
6. Notice of this permit shall be filed at the Land Titles Office under the authority of Section 503 of the *Local Government Act* and upon such filing, the terms of this permit or any amendment hereto shall be binding on all persons who acquire an interest in the lands affected by this permit.
7. **THIS PERMIT IS NOT A BUILDING PERMIT.**
8. **THIS PERMIT IS NOT A DEVELOPMENT PERMIT.**

Authorizing Signature:

Authorizing Resolution:

Date of Approval:

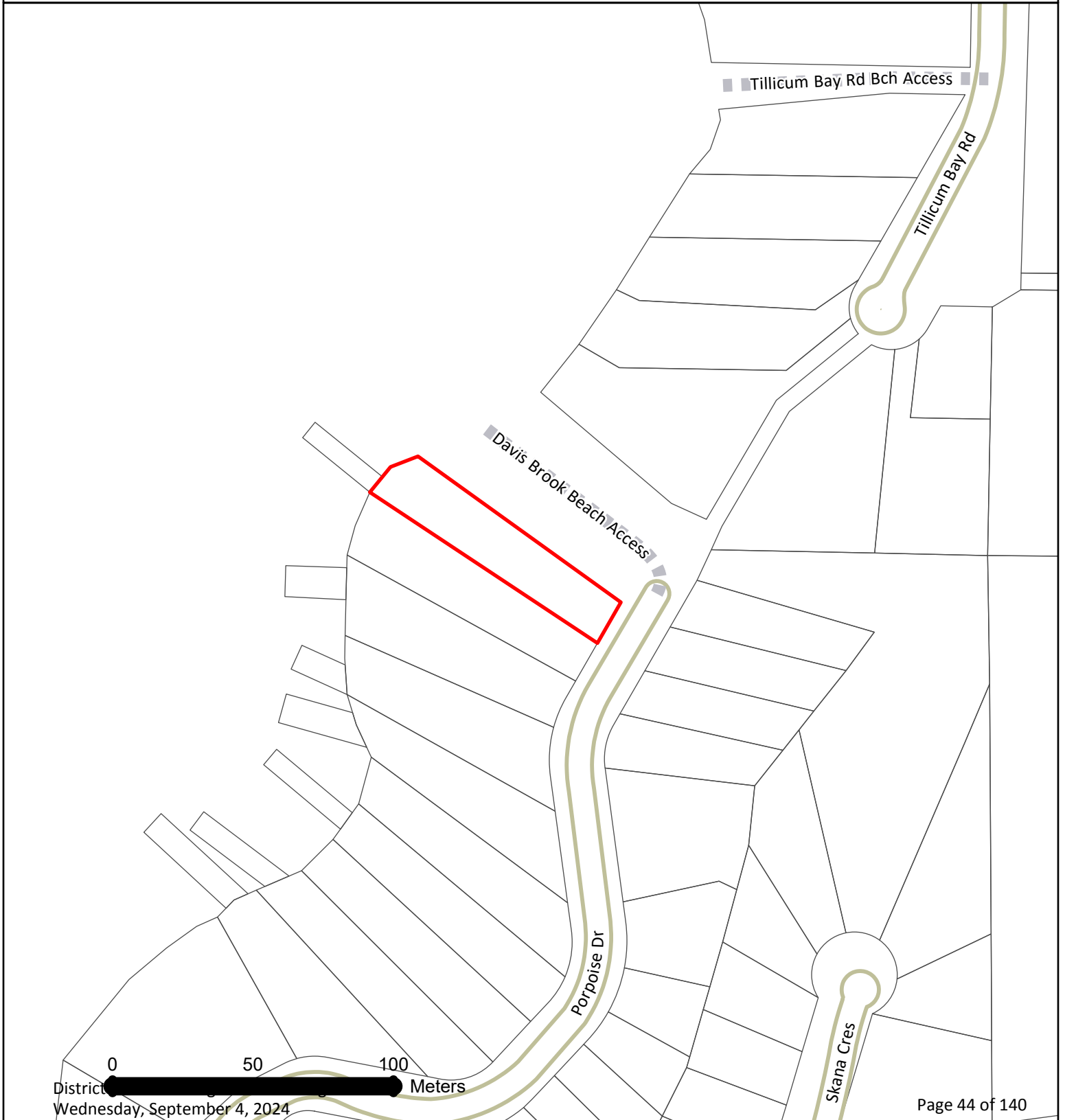
Date of Issue:

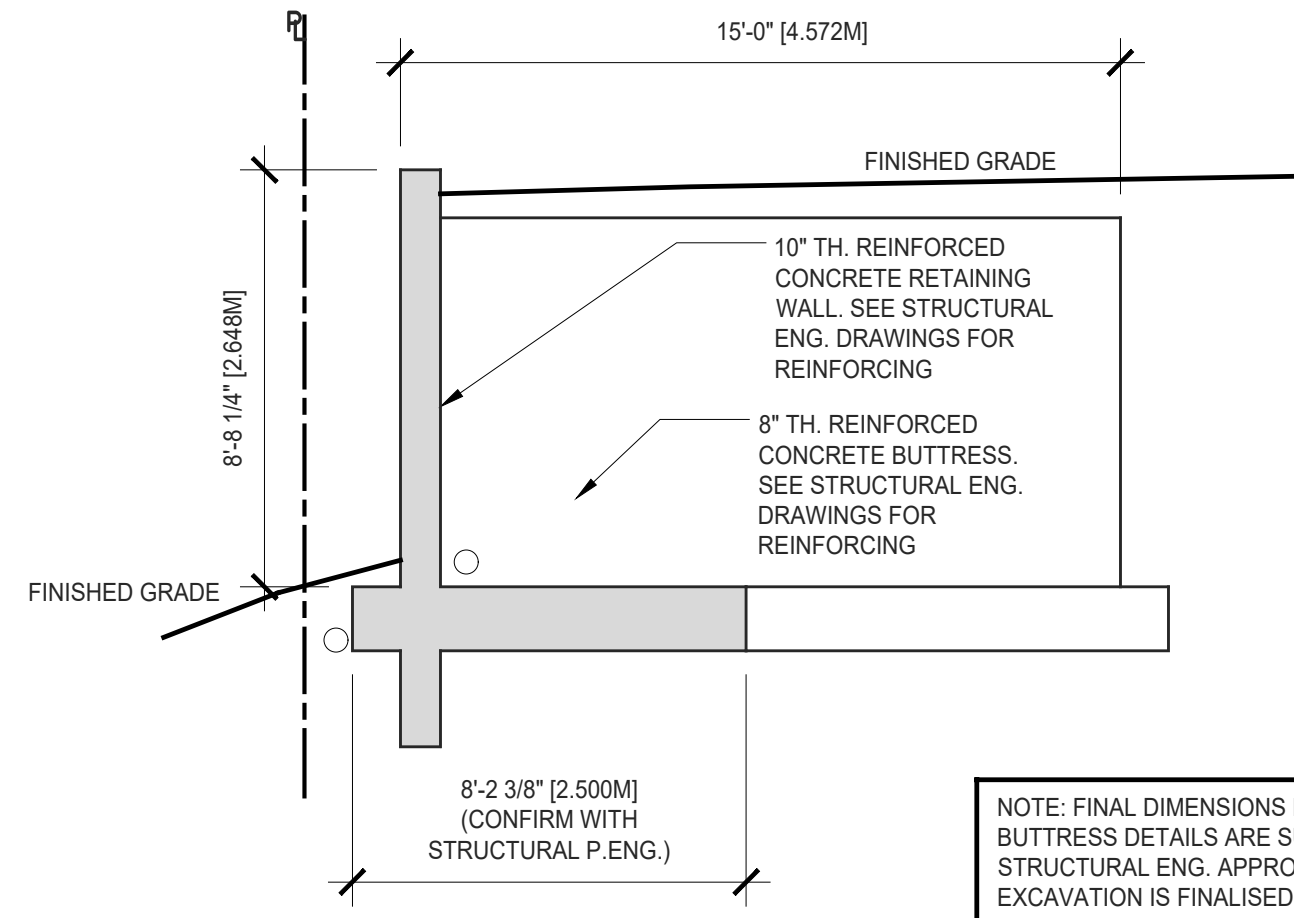
Andrew Allen

Director of Planning & Development

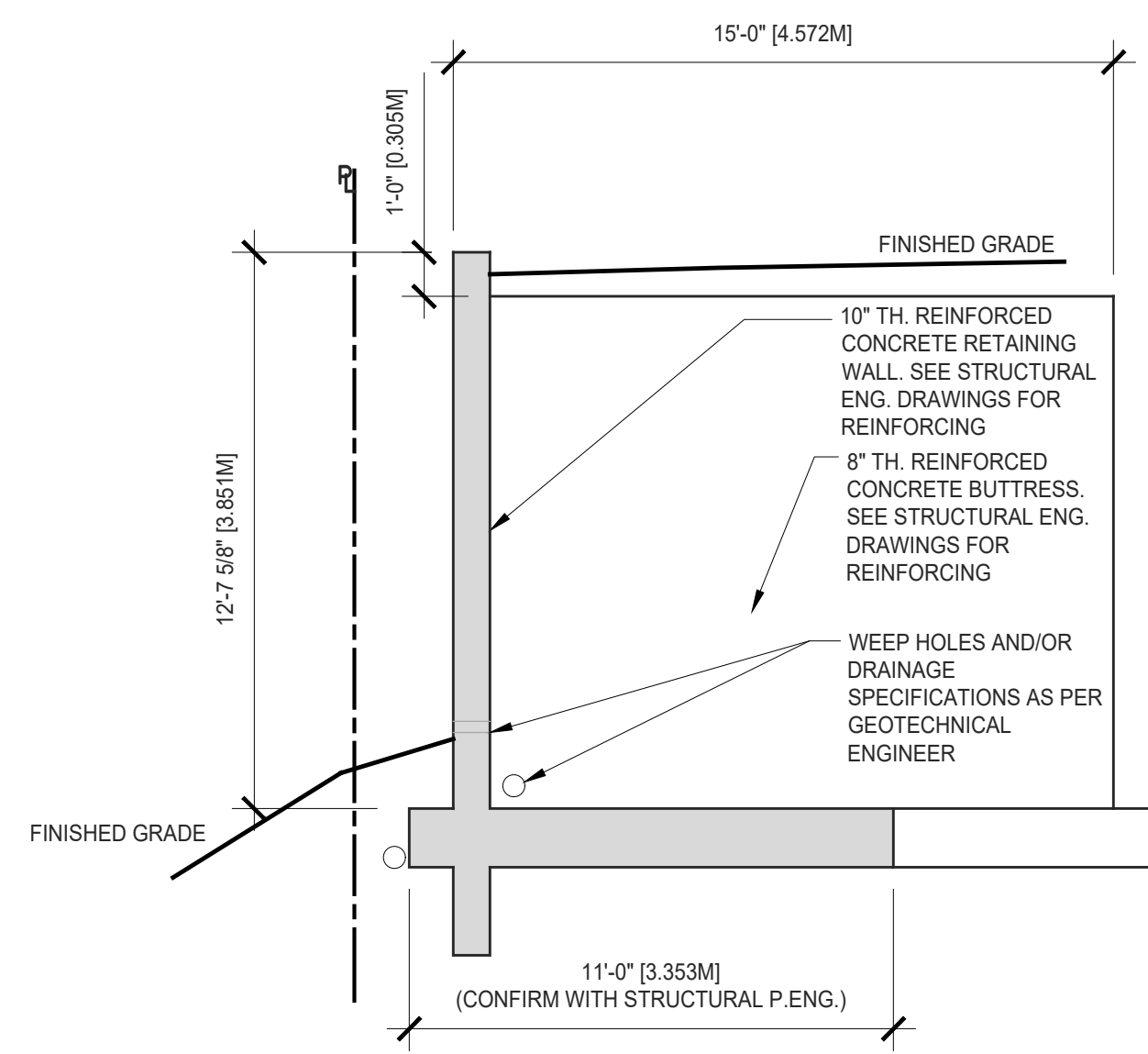
CIVIC: 7071 Porpoise Drive
LEGAL:
LOT 20 DISTRICT LOT 6214 PLAN VAP13644, PID 008-530-327

 Subject Property





C SECTION AT UPPER BUTTRESS
SCALE: 1/4" = 1'-0"

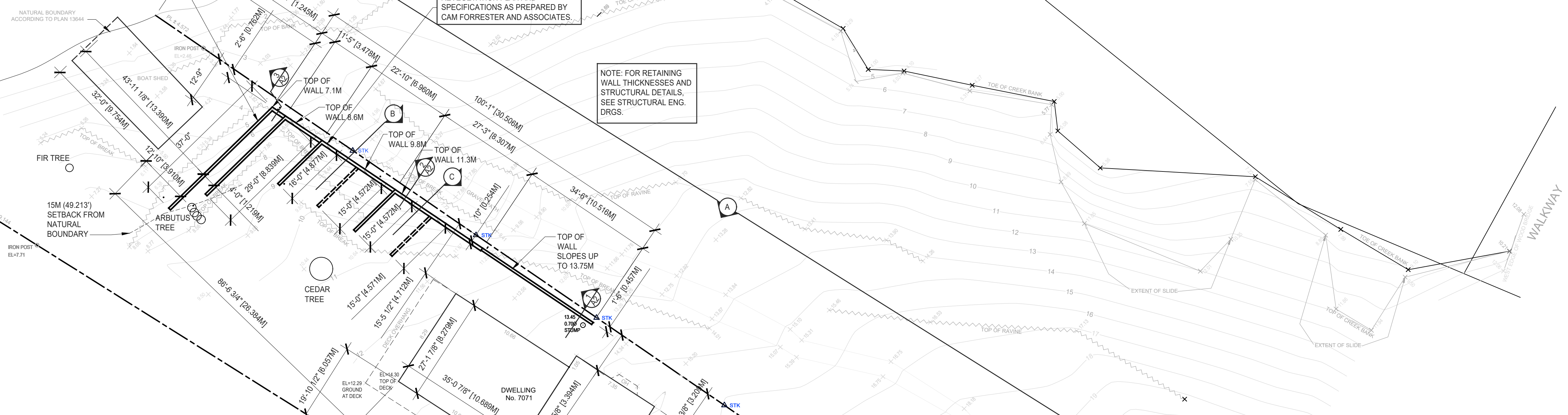


B SECTION AT LOWER BUTTRESS
SCALE: 1/4" = 1'-0"

NOTE: AREA OF EXPOSED TOP SURFACE OF RETAINING WALLS = 140.6 ft²

NOTE: REVEGETATION AT WALL BASE TO BE IN ACCORDANCE WITH REVEGETATION PLAN AND SPECIFICATIONS AS PREPARED BY CAM FORRESTER AND ASSOCIATES.

NOTE: FOR RETAINING WALL THICKNESSES AND STRUCTURAL DETAILS, SEE STRUCTURAL ENG. DRGS.



SITE PLAN
SCALE: 1/16" = 1'-0"
CIVIC ADDRESS: 7071 PORPOISE BAY DR., SECHLT
SURFACE AREA OF PROPOSED RETAINING WALL = 133 ft²

SHADED AREA INDICATES LOCATION OF EXISTING RESIDENCE (ROOF NOT SHOWN FOR CLARITY)

TOP OF MAIN FLOOR

TOP OF RETAINING WALL SLOPES

GRADE AT EXISTING HOUSE FOUNDATION

TOP OF DECK = 14.3M

GRADE AT PROPOSED RETAINING WALL INSIDE FACE

TOP OF WALL = 11.3M

TOP OF WALL = 9.8M

TOP OF WALL = 8.6M

TOP OF WALL = 7.1M

TOP OF BOAT SHED FLOOR APPROX. = 5.5M

GRADE AT EXISTING BOAT SHED

EXISTING GRADE AT PROPERTY LINE

WALL RETURNS INTO PROPERTY

OUTLINE OF STEPPED FOOTING: MAINTAIN MIN. 18" FROST PROTECTION TO U/S FTG. (ACTUAL POSITION TO BE DETERMINED AT EXCAVATION)

NOTE: REVEGETATION AT WALL BASE TO BE IN ACCORDANCE WITH REVEGETATION PLAN AND SPECIFICATIONS AS PREPARED BY CAM FORRESTER AND ASSOCIATES.

OUTLINE OF STEPPED FOOTING: MAINTAIN MIN. 18" FROST PROTECTION TO U/S FTG.

REVISIONS:		
No:	DESCRIPTION:	DATE:
9	RE-ISSUED FOR DEV. PERMIT	JULY 4/24
8	ISSUED FOR DEV. PERMIT	JUNE 9/22
7	REVISED (IMP)	MAY 17/22
6	REVISED (IMP)	MAY 9/22
5	REVISED (IMP)	MAY 8/22
4	REVISED PRELIMINARY (IMP)	APR.22/22
3	REVISED PRELIMINARY (IMP)	FEB.17/22

REVISIONS:		
No:	DESCRIPTION:	DATE:
1	PRELIMINARY (IMP)	JAN. 21/22
2	REVISED PRELIMINARY (IMP)	JAN. 21/22

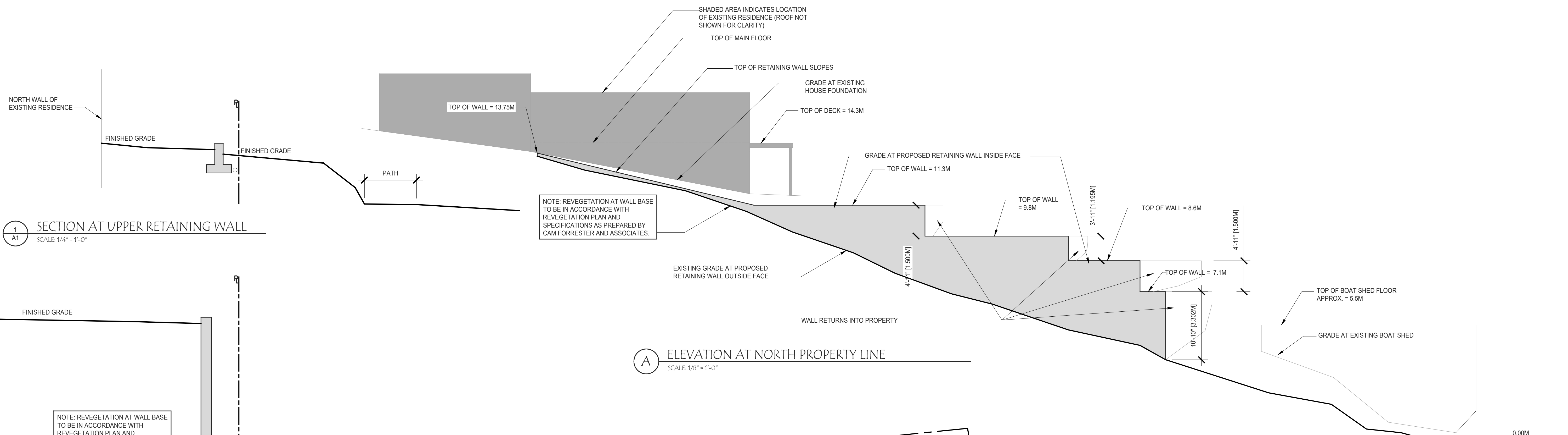
BANDSTAND VENTURES LTD.
 200A 1180 Kingsway Ave.
 Port Coquitlam, B.C. Canada
 V5C 6N7
 PH: 604 - 614 - 6052
 E-mail: tom@psdbc.com

RENOVATION:
 MOSS RESIDENCE
 7071 PORPOISE DRIVE,
 SECHLT, B.C.

SITE PLAN/ NORTH ELEVATION

Job No.: 2206
 Page No.: A1 OF 2

A SECTION / ELEVATION AT NORTH PROPERTY LINE
SCALE: 1/8" = 1'-0"

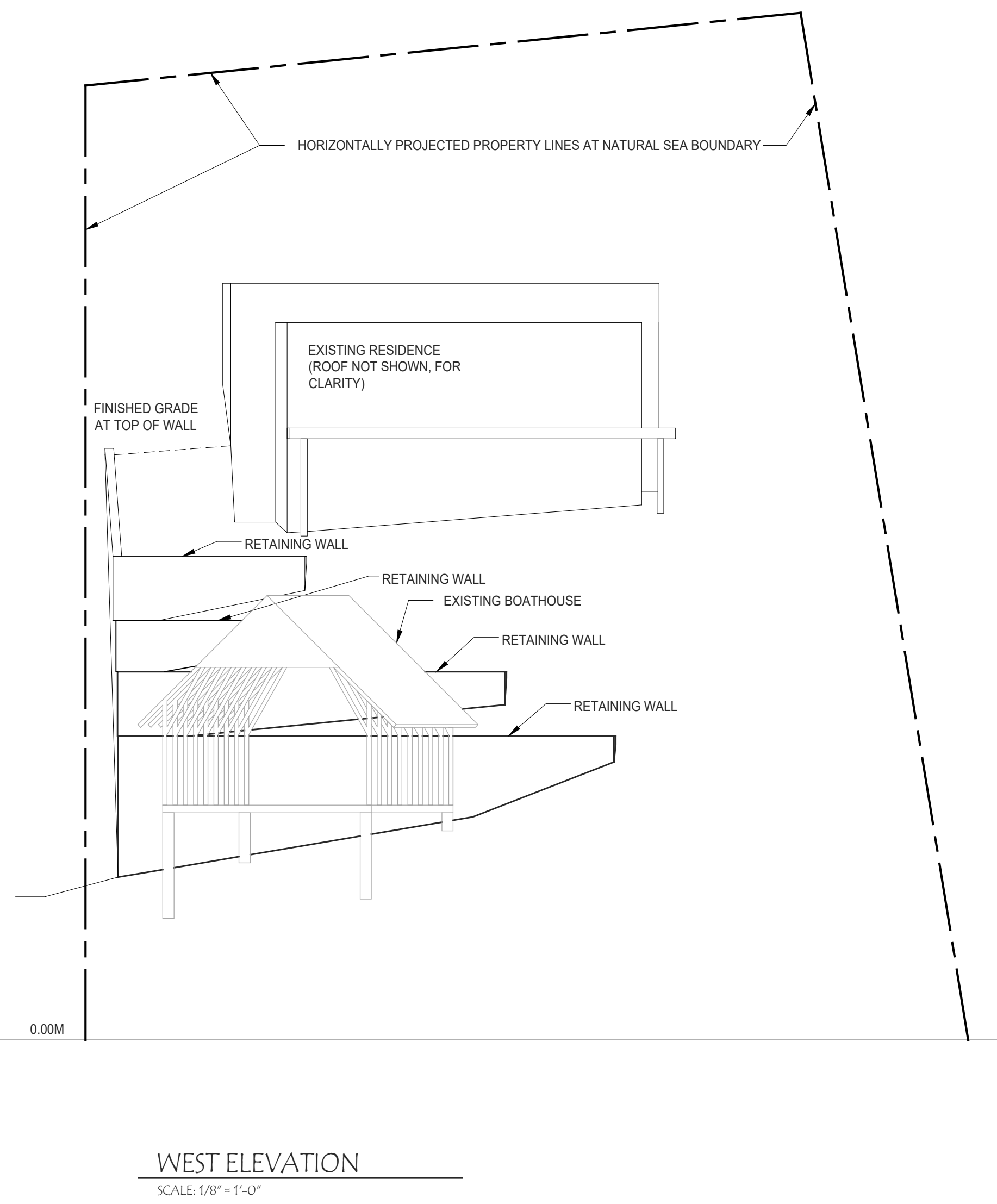


1 SECTION AT UPPER RETAINING WALL
SCALE: 1/4" = 1'-0"

2 SECTION AT MID-RETAINING WALL
SCALE: 1/4" = 1'-0"

3 SECTION AT LOWER RETAINING WALL
SCALE: 1/4" = 1'-0"

A ELEVATION AT NORTH PROPERTY LINE
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



PHOTO LOOKING EAST

9	RE-ISSUED FOR DEV. PERMIT	JULY 4, 2024
8	ISSUED FOR DEV. PERMIT	JUNE 9/22
7	REVISED (IMP)	MAY 17/22
6	REVISED (IMP)	MAY 9/22
5	REVISED (IMP)	MAY 8/22
4	REVISED PRELIMINARY (IMP)	APR.22/22
3	REVISED PRELIMINARY (IMP)	FEB.17/22

REVISIONS:		
No:	DESCRIPTION:	DATE:
1	PRELIMINARY (IMP)	JAN. 21/22
2	REVISED PRELIMINARY (IMP)	JAN. 21/22

BANDSTAND VENTURES LTD.
 200A 1180 Kingsway Ave.
 Port Coquitlam, B.C. Canada
 V5C 6N7
 PH: 604 - 614 - 6052
 E-mail: tom@psdbc.com

RENOVATION:
 MOSS RESIDENCE
 7071 PORPOISE DRIVE,
 SECHÉLT, B.C.

ELEVATIONS, CROSS-SECTIONS

Job No.: 2206
 Page No.: A2 OF 2



July 16, 2024 (Version 4)
Project No.: K-221144-00

Ken Moss
21756 122nd Avenue
Maple Ridge, B.C.
V2X 3W9

Attention: Ken Moss
ken@reflectionstruckbody.com

**RE: Geotechnical Assessment
Proposed Concrete Retaining Structure
7071 Porpoise Drive, Sechelt, B.C.**

Dear Mr. Moss,

1.0 INTRODUCTION

In accordance with your recent authorization, Kontur Geotechnical Consultants Inc. (Kontur) has completed this geotechnical assessment for the above-referenced project. The purposes of this study were to characterize the site from a geotechnical point-of-view and to provide comments and recommendations with respect to site development and retaining wall foundation design.

This letter, which summarizes the findings of the assessment, has been prepared in accordance with standard and widely accepted geotechnical engineering principles and practices for similar projects in this region. This letter does not address any environmental issues or considerations related to the proposed project.

Review and use of this letter should be completed in accordance with the attached *Interpretation and Use of Study and Report* document. It is included as an integral part of this letter and should be read in conjunction with all parts of this letter.

2.0 UNDERSTANDING OF PROJECT

It is Kontur’s understanding that it is planned to construct a concrete retaining wall at the above-referenced property. Preliminary design drawings indicate that the wall is proposed to be constructed along the north boundary of the lot. The drawings indicate two (2) short return walls, about 4.6m in length, near the middle of the wall, and two longer return walls, about 11m in length, at the west end of the wall.

It is understood that as the subject property is within the District of Sechelt (District) *Development Permit Area 4: Rocky Beach Front, Escarpments, and Slope Hazards* as indicated in the District’s Official Community Plan, and as such a landslide hazard assessment and a *Schedule D (Landslide Assessment Assurance Statement)* must be completed and issued in conjunction with this report.

Template LE01 Letter v1



3.0 SOURCES OF INFORMATION

The following sources of information were reviewed as part of this study:

- Drawing titled *Moss Residence Site Plan* issued by Bandstand Ventures Ltd., dated January 21, 2022;
- Information obtained from Kontur's in-house geotechnical database of nearby projects and personnel experience during construction of the subdivision;
- Published surficial geology maps of the area; and,
- Relevant information obtained from the District of Sechelt's online web-mapping application.

Kontur completed a site reconnaissance on January 13th, 2022. The site reconnaissance was completed by a Senior Geotechnical staff member who traversed the limits of the property and surrounding area by foot to visually assess the area for features of geotechnical engineering significance. Detailed topographical surveys and/or geotechnical explorations (i.e. test pits or testholes) were not completed at this time.

4.0 SITE CONDITIONS

General and Surface Conditions. The subject site is situated in the residential area above (to the east) of Porpoise Bay, in Sechelt, B.C. The property is roughly rectangular in shape and covers an area of about 0.17ha (0.4 acres). The property is about 95m long (east-west) and 20m wide (north-south). The property is bound by a public access footpath and Davis Brook to the north, a developed single family residential property to the south, Porpoise Drive to the east and the Natural Boundary of the Sea (Porpoise Bay) to the south.

In general, from the Natural Boundary of the Sea, the ground surface rises up to the east at an average inclination of about 4(H):1(V) (Horizontal:Vertical) over a series of benches to the east property boundary. The benches are generally separated by landscaped gardens and slopes. The west and east property boundaries are located at an elevation of about 2 and 24m, geodetic, respectively. Steeper sections of slopes that separate the benches located within the property range from an average inclination of about 2.5(H):1(V) to 2(H):1(V). The benches or gently sloped terraces are moderately wide, ranging from about 10 to 15m in length.

At the time of the site visit, no significant signs of potential deep-seated slope instability or wide-spread mass-wasting were observed. However, signs of localized slope instability and/or erosion were noted along the slope above the Natural Boundary and the slopes along the outer edge of the bench below the existing house (west and north sides). The property is generally covered with a mixture of small- to medium-sized coniferous and deciduous trees with some dense brush and vegetation along the north property line.

Subsurface Conditions. Interpretation of subsurface conditions at the site is based on the published surficial geology map of the area, observations of soil or bedrock outcrops within the property, and Kontur's nearby and relevant experience. A subsurface geotechnical exploration was not included as part of the scope of work of this report.

According to *Figure 1 – Surficial Geology Sunshine Coast Area* published by the Ministry of Mines and Petroleum Resources BC, the site is underlain by Capilano Sediments consisting of fluvial deltaic, fan and



channel deposits of cobbles, gravel, sand and silt. Irregular bedrock outcrops are known to occur within the vicinity of the site and may be encountered beneath the Capilano Sediment deposits at shallow depths; however, bedrock outcrops within and around the subject property were absent. The observations made during the site reconnaissance are considered to be consistent with the published surficial geology maps of the area.

No signs of significant groundwater seepage (except along the slope near the northern side of the existing building) and/or surface water runoff were observed at the time of the site visit. It is noted that the District of Sechelt had recently completed repairs to the watermain beneath Porpoise Drive nearby, and it was reported to Kontur that the seepage had ceased. It should be anticipated that local groundwater levels at the site vary and are typically influenced by periods of prolonged or intense rainfall, rapid snowmelt, and/or influences from nearby developments.

Subsurface Variability. It is important to note that subsurface conditions anticipated and described above are based on the information described herein (published surficial geology maps, Kontur's nearby experience, and an assumed horizontal continuity). Actual conditions should be expected to vary. Confirmation of the assumed conditions at this site can be completed during construction at the time of bulk excavation or site preparation of the proposed retaining walls. Kontur should be notified if conditions vary significantly from those described in this letter.

5.0 COMMENTS AND RECOMMENDATIONS

General. Based on the observations, information, and findings presented above, the following sections outline Kontur's geotechnical comments and recommendations.

All retaining walls over 1.2m (including terraced retaining walls) must be designed in accordance with the 2018 British Columbia Building Code (2018 BCBC) and the Engineers and Geoscientists of British Columbia (EGBC) guidelines for *Retaining Wall Design* version 1.1 dated February 2020.

Seismic Considerations. According to the 2018BCBC, the *Site Classification* for this property can be taken as *C – Very Dense Soil and Soft Rock*. As interpolated from the 2015 National Building Code of Canada's Seismic Hazard Calculation for firm ground at this site (with coordinates 49.528N and 123.766W), for a 2% probability of exceedance in 50 years, the *Peak Ground Acceleration* (PGA) may be taken as 0.35g and the Spectral Acceleration values may be taken from the attached *2015 National Building Code Seismic Hazard Calculation* sheet.

Geotechnical Hazards. The project site is located within the District of Sechelt's *Development Permit Area 4: Rocky Beach Front, Escarpments, and Slope Hazards*. It is noted that that the District has not adopted a level of 'landslide safety'; however, references a 2% in 50 year for both 'seismic and slope stability hazards'.

Based on the site reconnaissance and that the overall ground surface is sloped at an inclination of about 2.5(H):1(V), it is Kontur's opinion that the property is not subject to naturally occurring and large-scale and/or widespread rock falls/topples/slides, debris flows, avalanches, or other deep seated slope instabilities. It is Kontur's opinion that the subject property may be susceptible to potential localized slope instability (shallow sloughing, sliding, and/or surficial soil creep) and erosion, along the slope above the Natural Boundary of Porpoise Bay and the unsupported slopes between the lower and upper benches at



the west and north sides of the property. Localized slope instability can generally be defined as movement of soil within the outer 1.5 to 3m of soil along the shoreline and/or slopes on the property.

In this report, and as defined by the *APEGBC Guidelines for Legislated Landslide Assessments for Residential Developments in BC (May 2010 version)*, the term 'Landslide Risk' is defined as a combination of the probability of occurrence of a landslide and the consequence of the landslide (i.e. damage to property, injury or loss of life). As defined by the guideline, the term 'Landslide' refers to 'any movement of rock, debris, or earth down a slope'. The qualitative *Landslide Assessment* completed as part of the study presented herein is based on the site reconnaissance and desk study completed as described in this letter, sound engineering judgement, and Kontur's local and regional experience with landslide hazards, in accordance with widely accepted geotechnical practice in this region.

This terminology or criterion is like that defined by many other jurisdictions in the region, such as those established by the British Columbia Ministry of Transportation and Infrastructure (BCMOTI) and a 1993 report entitled *Hazard Acceptability Thresholds for Development Approvals by Local Government* prepared by Dr. Peter W. Cave. These guidelines may differ from the requirements of the approving authority (District of Sechelt) and should be compared to acceptability guidelines considered appropriate by the approving authority.

The BCMOTI Hazard Acceptability guidelines consider two different types of events: damaging events and life-threatening events. For damaging events, the guidelines indicate a probability of occurrence should be no less than 1 in 475 years for landslide hazards, 1 in 200 years for flood hazards, 1 in 300 for snow avalanche hazards, and 1 in 10,000 years for life-threatening catastrophic events. It is noted that as mentioned by the District of Sechelt, for both 'seismic and slope instability' hazards, a probability of occurrence of 2% in 50 year (or 1 in 2,475 years) should be used as the minimum standard.

Following the BCMOTI guidelines for subdivision approval, the following terms have been referenced. It should be noted that these guidelines do not constitute conditions for geological hazard acceptability. The frequency or probability of occurrence of Landslide Hazards can be defined by the following table (Table 1) based on a reference provided by the Resource Inventory Committee, Government of British Columbia Slope Task Force (1996).

Table 1 – Relative Terms and Ranges of Probability of Occurrence

Relative Term of Probability of Occurrence	Estimated Annual Probability of Occurrence	Comments
Very Low	< 1 in 2500 Years	-
Low	1 in 2500 to 1 in 500 years	Indicates the hazard is of uncertain significance.
Moderate	1 in 500 to 1 in 100 years	Indicates the hazard within a given lifetime is not likely, but possible. Signs of previous events, such as vegetation damage may not be easily noted.
High	1 in 100 to 1 in 20 years	Indicates that the hazard can happen within the lifetime of a person or typical structure. Events are clearly identifiable from deposits and vegetation but may not appear fresh
Very High	> 1 in 20 years	Indicates the hazard is imminent and well within the lifetime of a person or typical structure. Events occurring with a return period of 1 in 20 years or less generally have clear and fresh signs of disturbance.



Estimation of the annual return frequencies (probability of occurrence of a landslide) is very complex. In accordance with standard geotechnical and geological engineering practices for this area and type of development, the quantification of these values is based on the qualitative and observational information, sound engineering judgement, and all the information available to Kontur at the time this study was completed.

Based on the observations, interpretations, and findings made by Kontur, the following estimates of annual probability of natural geological hazard occurrences influencing the proposed development are provided (Table 2).

Table 2 – Estimated Probability of Occurrences

Hazard	Relative Term of Probability
Localized and Shallow Slope Instability and/or Erosion.	Moderate to High
Large-scale or wide-spread Rock Falls/Topples/Slides, Avalanche, large-scale land slip, debris flows/torrents	Very Low or Negligible

It is Kontur’s opinion that the landslide hazards identified above are generally limited to the slope above the Natural Boundary of Porpoise Bay and slopes that are inclined steeper than about 1.5H:1V (and/or a zone immediately above or below these slopes).

Provided the recommendations herein are implemented, namely that the unsupported slopes described above (and below the house) are permanently supported and protected against erosion (slope stabilization measures), it is Kontur’s opinion that the required level of ‘landslide safety’ can be achieved and the relative hazard rating for small-hazard and localized slope instability may be reduced to *Low*.

Slope Stabilization Measures. To mitigate the localized slope instability and/or erosion that were noted along the slope above the Natural Boundary and the slopes along the outer edge of the bench below the existing house (west and north sides), the slopes should be permanently supported and protected against erosion. This may be completed by constructing permanent retaining walls, re-grading the benches and/or slopes to a stable configuration, and or deepening existing building foundations below the ‘critical slip surface’ associated with the potential slope instability on the subject property that could influence the building. From a geotechnical point-of-view, constructing a permanent retaining wall is considered the most robust and feasible solution. A permanent retaining wall would stabilize the slope and decrease the risk of localized slope instability to the existing house. It would also improve the public access footpath to the north of the property, as it would offer additional protection against erosion. Other configurations where the retaining walls are setback further from the exterior lot line and the present natural boundary of the sea would not be as effective, as it would not target the areas that require slope stabilization measures. Other configurations would also require significant excavation and temporary underpinning and/or excavation support. Whereas this retaining wall configuration would minimize and retain as much in-situ soil as possible by limiting excavation.

Retaining Wall Bylaw Exemption. The District of Sechelt’s Bylaw No. 580, 2022 Section 2.13 Retaining Walls states that:

2.13.1 A single retaining wall may not exceed 1.2m in height.



- 2.13.2 A combined system of retaining walls may exceed 1.2m in height, provided that it is stepped and has a ratio not of less than 2 horizontal to 1 vertical in height.
- 2.13.3 Any retaining wall including any fence portion situated on top of the retaining wall cannot exceed 2.0 m in combined height from the lowest natural grade. Guardrails required by the applicable building code are not considered to be a fence in this circumstance.

It is important to note that the proposed retaining wall has been designed to match the existing topography as best as possible to minimize alternation of the lands, minimize excavation volumes, and to protect existing infrastructure (i.e. septic field and house) and the environment (natural boundary buffer zone and existing vegetation/trees).

In the west to east direction, the proposed retaining wall meets the intent of Section 2.13.2 of the bylaw. The proposed retaining wall does not meet the intent of Section 2.13.1 and 2.13.3 at the west and north sides. To meet the intent of Section 2.13.1 and 2.13.3 of the bylaw, significant excavation into the subject property would be required. The limits of a safe and stable excavation would extend about a horizontal distance of 7.5 to 10m into the subject property or more, based on these requirements and the existing topography of the site and surrounding lands. Relocation or temporary underpinning of the existing septic field, removal of the existing large Cedar Tree, and removal of the majority of existing yard, garden, and vegetation, would be required to facilitate this design.

From a geotechnical point-of-view, it is stressed, that a key design criterion is to minimize the volume and extent of excavation and construct a new retaining wall to stabilize the existing slope. Large and deep excavations are more prone to instability and/or erosion. Unsupported steep slopes should be considered unstable and may retrogress over time and influence existing lands, infrastructure, and/or buildings.

Based on the site constraints (existing topography, vegetation/trees, infrastructure, and buildings), the proposed retaining wall configuration is considered appropriate from a geotechnical point-of-view. Other retaining wall configurations, that require significant excavation, are not recommended.

See attached Figures G100 and G101, illustrating the anticipated excavation limits for the proposed reinforced concrete retaining wall and the alternative Mechanically-Stabilized Earth (MSE) retaining wall.

Retaining Wall Design. Provided all comments and recommendations presented herein are addressed and implemented, conventional shallow foundations (strip footings) are considered suitable to support the proposed retaining wall without appreciable ground settlements. All foundations must be designed and constructed in accordance with the 2018 British Columbia Building Code (2018BCBC).

For retaining wall footings placed on undisturbed native granular soils, or *Engineered Fill* placed and compacted thereon, for Serviceability Limit State (SLS), a maximum 'allowable' bearing resistance of 150kPa may be used. For Ultimate Limit State (ULS), a factored ultimate bearing resistance of 225kPa may be used. SLS values are based on a total estimated settlement of about 20mm with a differential of about 12.5mm over a horizontal distance of about 10m.

The base of the wall should be keyed-into the subgrade surface a minimum of 450mm for confinement and frost protection purposes. Where bedrock is encountered and sloping away from the wall, additional measures to prevent basal sliding may be necessary. This may include pinning the footings to the bedrock surface for additional shear resistance. Retaining wall foundations should be set back a minimum distance



of 2(H):1(V) from any adjacent footing, utility service, or toe of a retaining wall unless added surcharge pressures are factored into the design.

A minimum 450mm wide chimney drainage zone of 19mm clear crushed gravel should be placed immediately behind the retaining wall and extend up to within 450mm of the finished ground surface. A 'low-fines' capping of soil may then be placed on a layer of filter fabric placed thereon. A drain consisting of a minimum 100mm diameter perforated pipe in a minimum 150mm thick surround of 19mm clear crushed gravel wrapped in filter fabric (i.e. Nilex 4551 or approved equivalent) should be placed at the heel of the wall and connected to an appropriately located storm sewer, rock pit, or drainage ditch. Drainage is not permitted to flow in an uncontrolled manner behind any retaining wall, or towards another building without special provisions as directed by the Geotechnical Engineer.

Retaining walls should be adequately designed to resist the lateral earth pressure acting upon them. It is recommended that an equivalent fluid unit weight of 5.5kPa/m (for 'active' conditions) and 8kPa/m (for 'at-rest' conditions) be used for lateral earth pressures based on a triangular pressure distribution. An increment of 5kPa/m based on an inverted triangular pressure distribution should be added to this value for seismic conditions. The resultant seismic force may be taken to act at an elevation of about two thirds the height of the wall. All retaining walls should be designed to no less than 20kPa to account for compaction-induced pressures. These values assume no build-up of hydrostatic pressure due to a chimney drain placed against the height of the wall and connected to the retaining wall footing drainage system.

See attached Drawings prepared by Bandstand Ventures Ltd.

Revegetation Plan. It is Kontur's understanding that Cam Forrester & Associates Ltd. prepared the revegetation plan for the site. The revegetation plan was required for the Development Variance Permit (DVP) application, as there were geotechnical site constraints that required deviation from the District of Sechelt's Retaining Wall Bylaw requirements.

Based on the observations and information described above, the following geotechnical comments and recommendations are provided:

1. Any large trees should not be planted near the base of the wall, as these will influence the stability of the wall and slopes in the long-term.
2. If large trees are planted, they must be set back away from the wall and buildings.
3. The low shrubs/brush would be acceptable within close proximity to the wall.
4. The revegetation plan to-date conforms to Kontur's general recommendations and is satisfactory.

See attached

Erosion and Sediment Control Plan. Kontur has prepared an Erosion and Sediment Control Plan for this project to address erosion and sediment control during excavation and construction activities. All sediment laden water should be prevented from being discharged into Sechelt Inlet or Davis Brook.

Constructability Considerations. Temporary excavation may require specialized means and methods such as rock hammering, splitting, and/or blasting, if bedrock is encountered within the excavation. Conventional excavation methods are considered suitable for the overlying granular soils. For planning



purposes at this site, temporary excavated slopes in undisturbed granular soils may be inclined 3/4(H):4(V) to a maximum slope height of 3m. For unsupported slopes greater than 3m, temporary unsupported slopes should be flattened to no steeper than about 1(H):1(V). Where seepage is encountered, temporary excavated slopes may need to be flattened, depending on the findings of the Geotechnical Engineer.

All WorkSafeBC Regulations, Guidelines, and Best Practices, for safe and stable excavations should be implemented by the Contractor. An initial review by the Geotechnical Engineer should be completed for any excavation deeper than 1.2m below the surrounding ground surface or prior to any excavation within a 2(H):1(V) gradient line projected down from the foundation of any building or structure.

The excavated surface must be protected and kept dry during construction. Depending on the time of year construction takes place, it should be expected that some groundwater (perched) may be encountered in the excavation. Water accumulations in the excavation are anticipated to be able to be controlled with conventional swales, shallow sumps, and pumps. It is the responsibility of the contractor to protect and provide a dry environment for the placement and compaction fills and/or concrete. Contractors should make their own assessment and are responsible for selecting the appropriate methods to control groundwater during construction at this site.

Areas immediately beneath the wall foundation should be stripped and cleared of all unsuitable material including loose/saturated/organic soil/rock, or other deleterious material, to expose a suitable and undisturbed subgrade surface. The excavated subgrade surface should be reviewed and approved by the Geotechnical Engineer prior to placement of any *Engineered Fill* or concrete.

Where *Engineered Fill* is required to achieve design grades, the material should consist of an approved granular soil such as a 75mm minus crushed gravel with no more than 5% fines passing the No.200 (0.075mm) sieve or approved equivalent. *Engineered Fill* should extend at least 450mm beyond the edges of the proposed foundation or at least a horizontal distance equal to the thickness of the fill, whichever is greater.

All *Engineered Fill* materials must be placed and compacted in lifts no thicker than 300mm. The material should be near its optimum moisture content and be compacted to at least 95% of the material's *Modified Proctor Maximum Dry Density* (MPMDD) value. Field Density Test reports should be forwarded to the Geotechnical Engineer for review and approval of compacted fill zones, or the Geotechnical Engineer should observe and witness placement and compaction of the material.

For non-structural areas, backfills may be placed and compacted as described above except to no less than 85% of the material's MPMDD value. Excavated material and/or existing fill materials may be reused in non-structural areas for general site grading purposes. These materials are not suitable for use as *Engineered Fill* in structural areas.

6.0 FIELD REVIEW

To sign-off on the work, Kontur must complete the necessary field reviews during the construction stage of the project. Field reviews may be required, but are not limited to, the following stages:

- Bulk excavation, stripping and final excavation;
- Subgrade and bearing surface review and approvals;



- Placement and compaction of fills; and/or,
- Installation of perimeter and/or site drainage.

Kontur requires at least 48 hours of advanced notice to visit the site when the work is ready for review.

7.0 CLOSURE

The comments and recommendations presented in this letter are based on the referenced information and Kontur's understanding of the project as described herein. If site conditions or project parameters differ from those described in this letter, Kontur should be notified promptly to review geotechnical aspects of the project and provide additional or modified comments and recommendations, as deemed appropriate. Contractors should make their own assessments of subsurface conditions at this site and select the construction means and methods that are most appropriate for encountered site conditions.

Provided all the comments and recommendations presented above are addressed and implemented, the site may be safely used for its intended purpose, that being a single-family residential building.

This letter has been prepared for the exclusive use of Mr. Ken Moss, the District of Sechelt, and/or their designated agents or consultants. Any use of the information contained in this letter for other than its intended purpose or by any other party must first be verified in writing by Kontur. Kontur does not accept any responsibility or damages because of any other party relying on or using the information, interpretations, opinions, comments, and/or recommendations that are contained in this letter.

Kontur trusts that the information described above meets your current requirements. If you should have any concerns or questions, please do not hesitate to contact the undersigned.

Sincerely,

Kontur Geotechnical Consultants Inc.
EGBC Permit to Practice #1000925

Per:

Reviewed by:

Dave Silveira
Senior Geotechnical Technician

Matthew Yip MEng PEng
Principal | Geotechnical Engineer

Attachments: Interpretation and Use of Study and Report Document
Site Layout Sketch
Photograph
2015 National Building Code of Canada Seismic Hazard Calculation Sheet



INTERPRETATION AND USE OF STUDY AND REPORT DOCUMENT

1.0 STANDARD OF CARE

This study and Report have been prepared in accordance with generally accepted engineering consulting practices in this area. No other warranty, expressed or implied, is made. Engineering studies and reports do not include environmental engineering or consulting.

2.0 COMPLETE REPORT

All documents, records, data and files, whether electronic or otherwise, generated as part of this assignment are a part of the Report which is of a summary nature and is not intended to stand alone without reference to the instructions given to us by the Client, communications between us and the Client, and to any other reports, writings, proposals or documents prepared by us for the Client relative to the specific site described herein, all of which constitute the Report.

IN ORDER TO PROPERLY UNDERSTAND THE SUGGESTIONS, RECOMMENDATIONS AND OPINIONS EXPRESSED HEREIN, REFERENCE MUST BE MADE TO THE WHOLE OF THE REPORT. WE CANNOT BE RESPONSIBLE FOR USE BY ANY PARTY OF PORTIONS OF THE REPORT WITHOUT REFERENCE TO THE WHOLE REPORT.

3.0 BASIS OF THE REPORT

The Report has been prepared for the specific site, development, building, design or building assessment objectives and purpose that were described to us by the Client. The applicability and reliability of any of the findings, recommendations, suggestions, or opinions expressed in the document are only valid to the extent that there has been no material alteration to or variation from any of the said descriptions provided to us unless we are specifically requested by the Client to review and revise the Report in light of such alteration or variation.

4.0 USE OF THE REPORT

The information and opinions expressed in the Report, or any document forming the Report, are for the sole benefit of the Client. NO OTHER PARTY MAY USE OR RELY UPON THE REPORT OR ANY PORTION THEREOF WITHOUT OUR WRITTEN CONSENT. WE WILL CONSENT TO ANY REASONABLE REQUEST BY THE CLIENT TO APPROVE THE USE OF THIS REPORT BY OTHER PARTIES AS "APPROVED USERS". The contents of the Report remain our copyright property and we authorise only the Client and Approved Users to make copies of the Report only in such quantities as are reasonably necessary for the use of the Report by those parties. The Client and Approved Users may not give, lend, sell or otherwise make the Report, or any portion thereof, available to any party without our written permission. Any use which a third party makes of the Report, or any portion of the Report, are the sole responsibility of such third parties. We accept no responsibility for damages suffered by any third party resulting from unauthorised use of the Report.

5.0 INTERPRETATION OF THE REPORT

Nature and Exactness of Descriptions: Classification and identification of soils, rocks, geological units, contaminant materials, building envelopment assessments, and engineering estimates have been based on investigations performed in accordance with the standards set out in Paragraph 1. Classification and identification of these factors are judgmental in nature and even comprehensive sampling and testing programs, implemented with the appropriate equipment by experienced personnel, may fail to locate some conditions. All investigations, or building envelope descriptions, utilizing the standards of Paragraph 1 will involve an inherent risk that some conditions will not be detected and all documents or records summarising such investigations will be based on assumptions of what exists between the actual points sampled. Actual conditions may vary significantly between the points investigated and all persons making use of such documents or records should be aware of, and accept, this risk. Some conditions are subject to change over time and those making use of the Report should be aware of this possibility and understand that the Report only presents the conditions at the sampled points at the time of sampling. Where special concerns exist, or the Client has special considerations or requirements, the Client should disclose them so that additional or special investigations may be undertaken which would not otherwise be within the scope of investigations made for the purposes of the Report.

Reliance on Provided information: The evaluation and conclusions contained in the Report have been prepared on the basis of conditions in evidence at the time of site inspections and on the basis of information provided to us. We have relied in good faith upon representations, information and instructions provided by the Client and others concerning the site. Accordingly, we cannot accept responsibility for any deficiency, misstatement or inaccuracy contained in the report as a result of misstatements, omissions, misrepresentations or fraudulent acts of persons providing information.

To avoid misunderstandings, KONTUR should be retained to work with the other design professionals to explain relevant engineering findings and to review their plans, drawings, and specifications relative to engineering issues pertaining to consulting services provided by KONTUR. Further, KONTUR should be retained to provide field reviews during the construction, consistent with building codes guidelines and generally accepted practices. Where applicable, the field services recommended for the project are the minimum necessary to ascertain that the Contractor's work is being carried out in general conformity with KONTUR's recommendations. Any reduction from the level of services normally recommended will result in KONTUR providing qualified opinions regarding adequacy of the work.

6.0 ALTERNATE REPORT FORMAT

When KONTUR submits both electronic file and hard copies of reports, drawings and other documents and deliverables (KONTUR's instruments of professional service), the Client agrees that only the signed and sealed hard copy versions shall be considered final and legally binding. The hard copy versions submitted by KONTUR shall be the original documents for record and working purposes, and, in the event of a dispute or discrepancy, the hard copy versions shall govern over the electronic versions. Furthermore, the Client agrees and waives all future right of dispute that the original hard copy signed version archived by KONTUR shall be deemed to be the overall original for the Project.

The Client agrees that both electronic file and hard copy versions of KONTUR's instruments of professional service shall not, under any circumstances, no matter who owns or uses them, be altered by any party except KONTUR. The Client warrants that KONTUR's instruments of professional service will be used only and exactly as submitted by KONTUR.

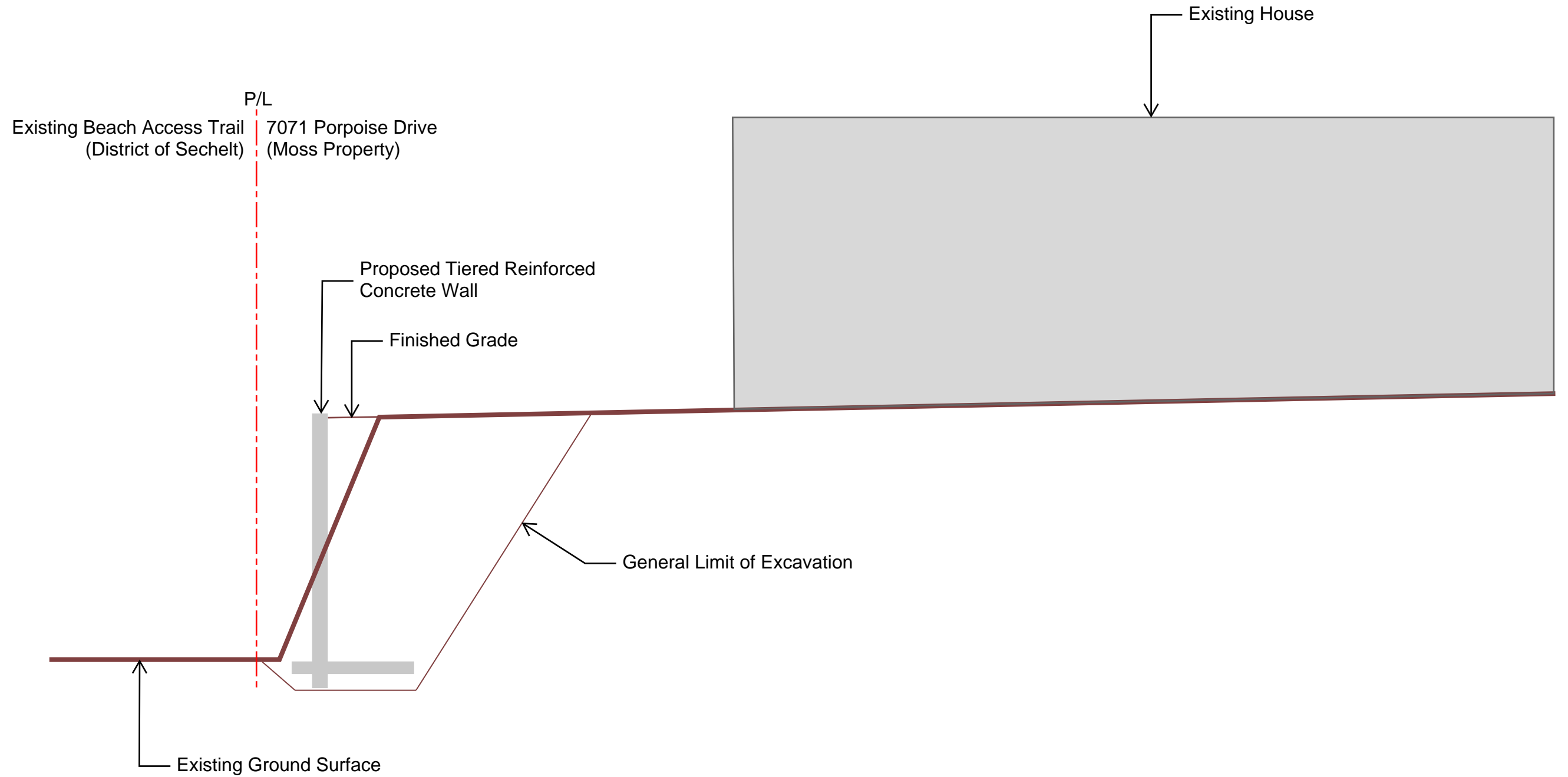
The Client recognizes and agrees that electronic files submitted by KONTUR have been prepared and submitted using specific software and hardware systems. KONTUR makes no representation about the compatibility of these files with the Client's current or future software and hardware systems.



10U 444485 5486536



Photograph 1. Slope below bench below existing house (northwest side of lot in area of proposed retaining wall).



September 16, 2020 3:47:05 PM

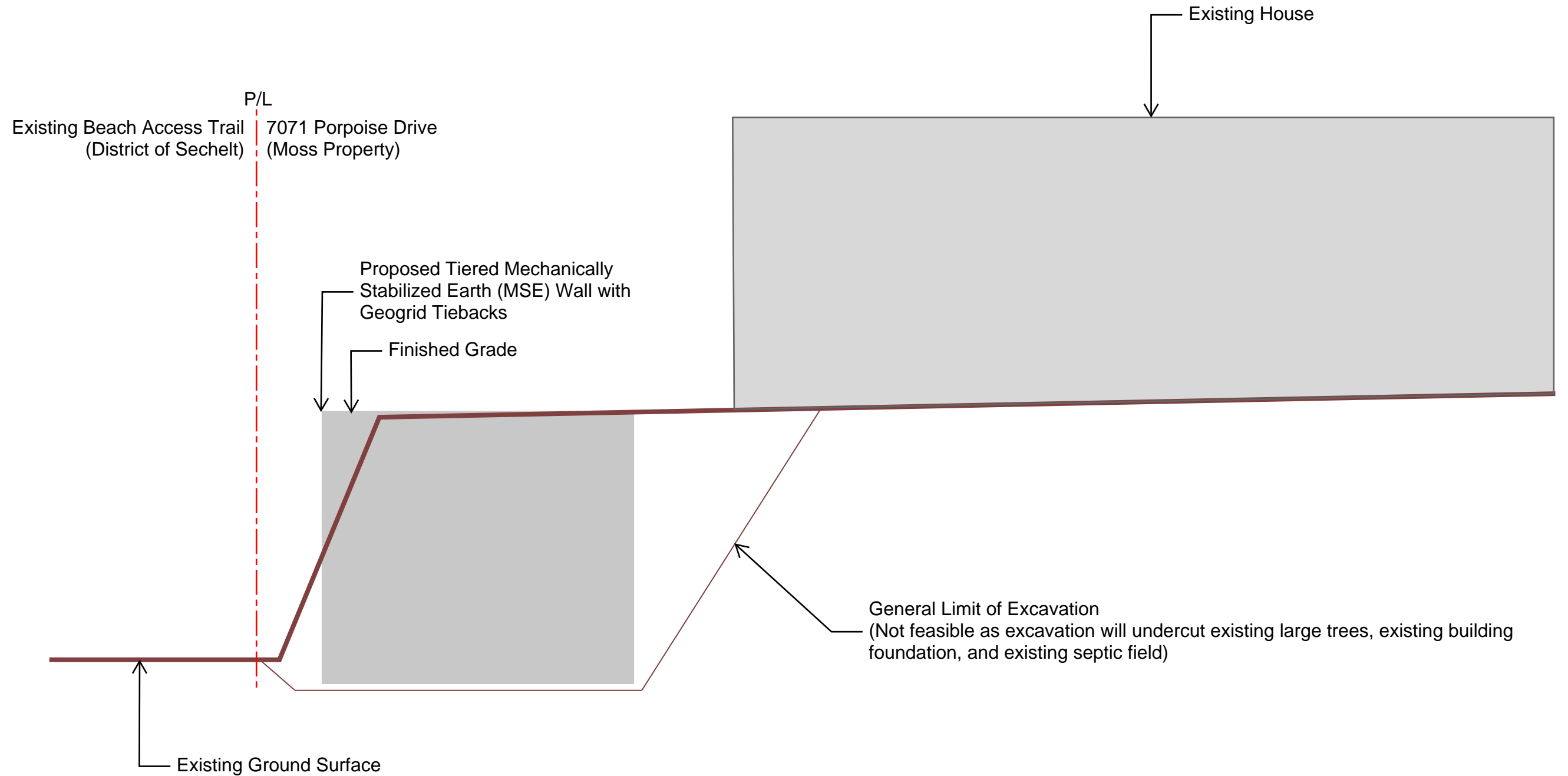
Unit 65, 1833 Coast Meridian Road, Port Coquitlam, B.C. V3C 6G5
 Tel: (778) 730-4747 | Toll-Free: 1-833-301-7575 | Email: info@kontur.ca | www.kontur.ca

SEAL

VERSIONS		
NO	DESCRIPTION	DATE
0	Issued for Report	2024-07-16

TITLE	Proposed Retaining Wall and Excavation Limits (Proposed Wall)
CLIENT	Ken Moss
PROJECT LOCATION	7071 Porpoise Drive, Sechelt B.C.

PROJECT NO.:	K-221144-00		
DATE:	2024-07-16	SCALE:	N.T.S.
DRAFT:	SD	DESIGN:	-
DWG NO.:	G100	CHECK:	MY



September 16, 2020 3:47:05 PM

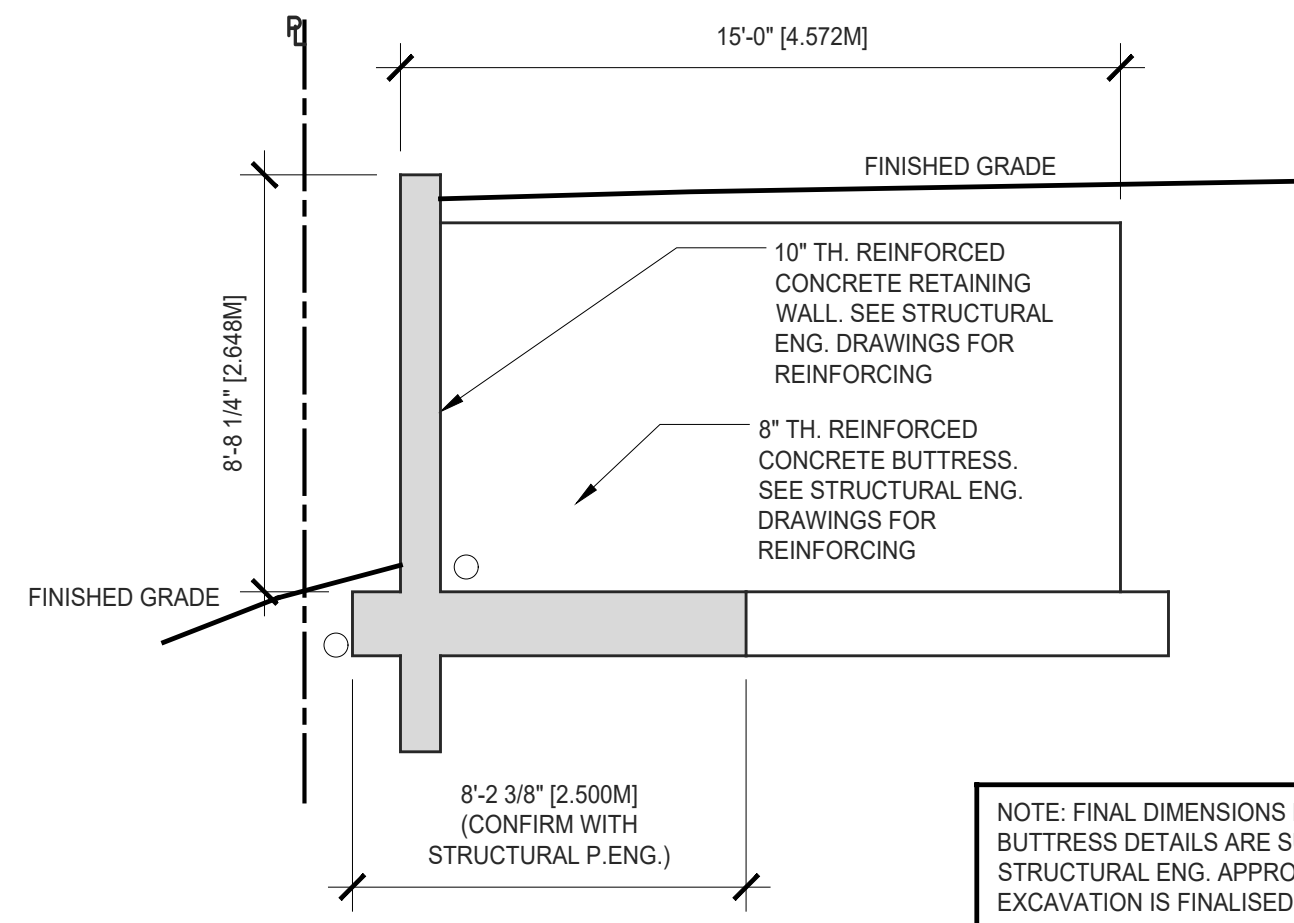
Unit 65, 1833 Coast Meridian Road, Port Coquitlam, B.C. V3C 6G5
 Tel: (778) 730-4747 | Toll-Free: 1-833-301-7575 | Email: info@kontur.ca | www.kontur.ca

SEAL

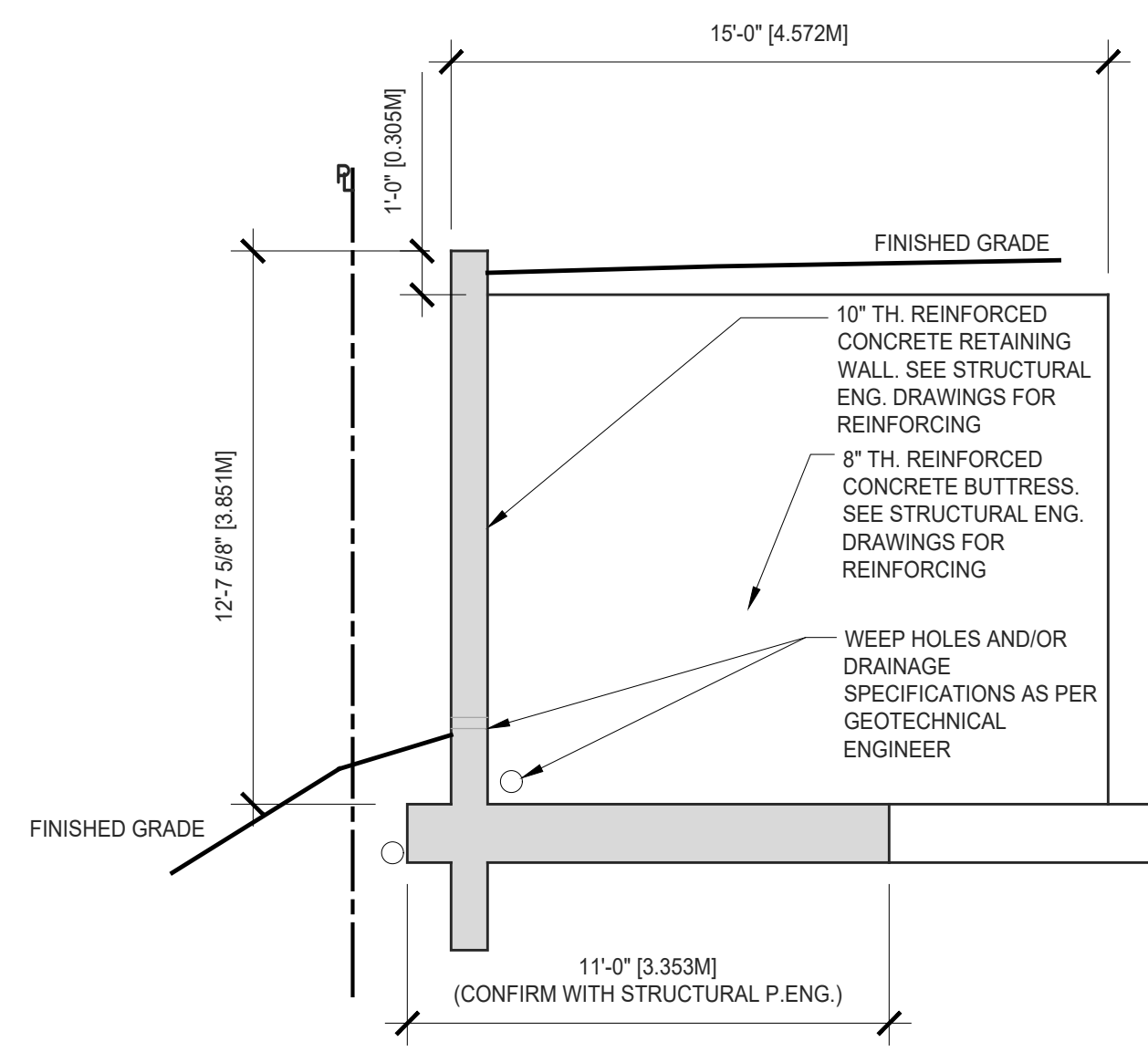
VERSIONS		
NO	DESCRIPTION	DATE
0	Issued for Report	2024-07-16

TITLE	Proposed Retaining Wall and Excavation Limits (Alternative MSE Wall)
CLIENT	Ken Moss
PROJECT LOCATION	7071 Porpoise Drive, Sechelt B.C.

PROJECT NO.: K-221144-00		
DATE:	SCALE:	DWG NO.:
2024-07-16	N.T.S.	G101
DRAFT:	DESIGN:	CHECK:
SD	-	MY



C SECTION AT UPPER BUTRESS
SCALE: 1/4" = 1'-0"



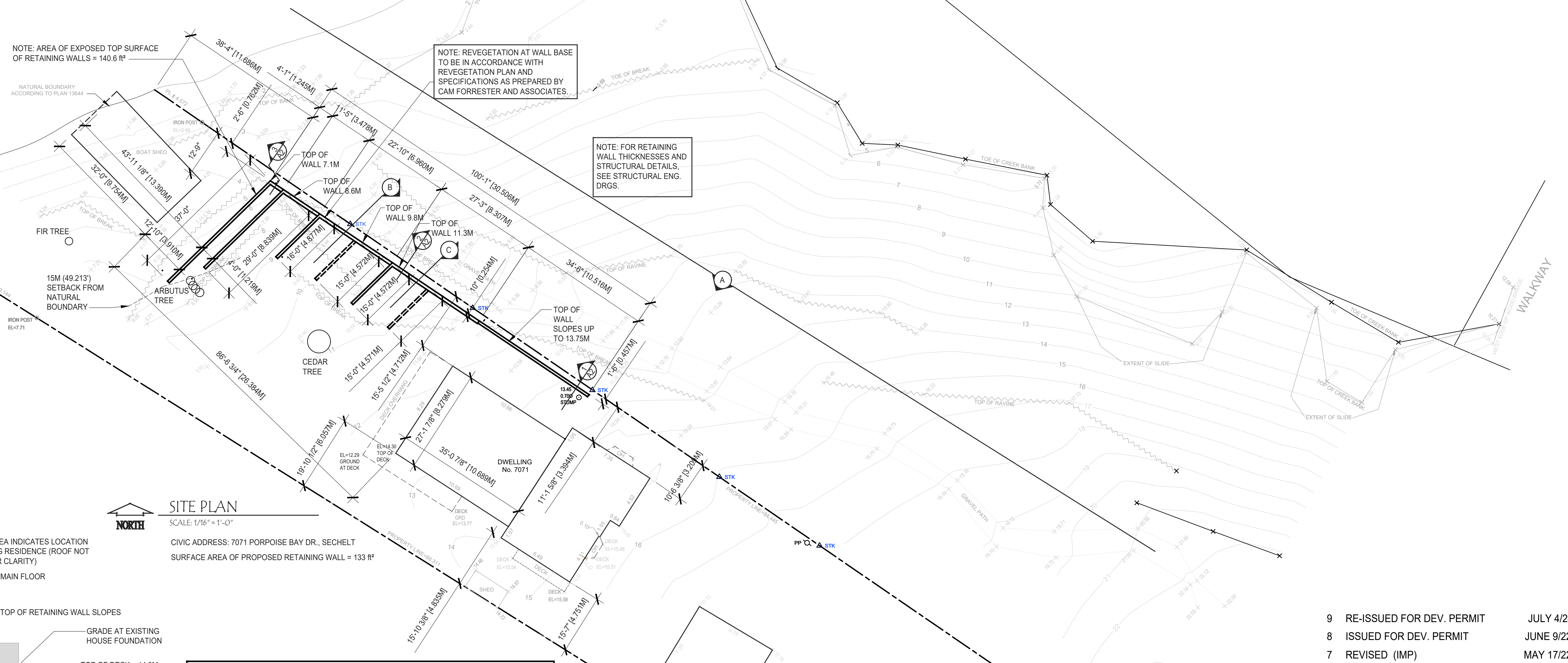
B SECTION AT LOWER BUTRESS
SCALE: 1/4" = 1'-0"

PORPOISE BAY
SECHELT INLET

NOTE: AREA OF EXPOSED TOP SURFACE OF RETAINING WALLS = 140.6 ft²

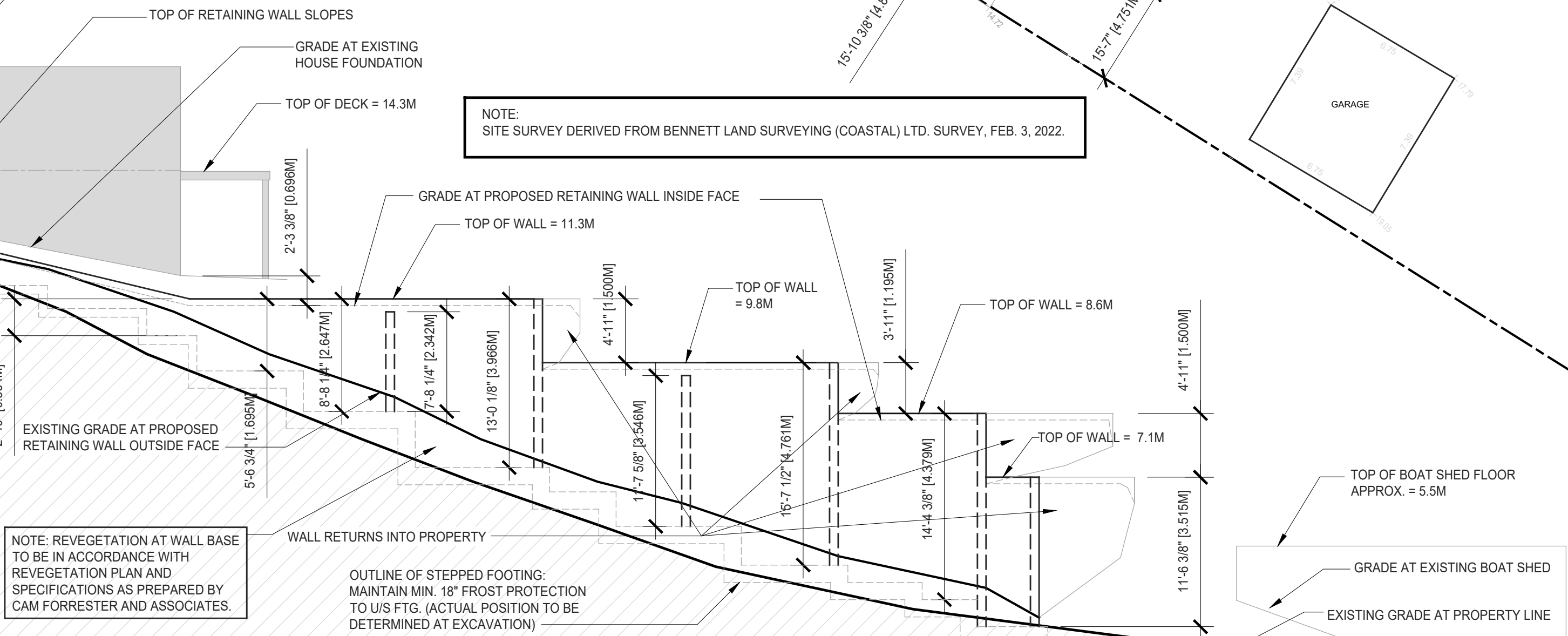
NOTE: REVEGETATION AT WALL BASE TO BE IN ACCORDANCE WITH REVEGETATION PLAN AND SPECIFICATIONS AS PREPARED BY CAM FORRESTER AND ASSOCIATES.

NOTE: FOR RETAINING WALL THICKNESSES AND STRUCTURAL DETAILS, SEE STRUCTURAL ENG. DRGS.



SITE PLAN
SCALE: 1/16" = 1'-0"
CIVIC ADDRESS: 7071 PORPOISE BAY DR., SECHELT
SURFACE AREA OF PROPOSED RETAINING WALL = 133 ft²

NOTE: SITE SURVEY DERIVED FROM BENNETT LAND SURVEYING (COASTAL) LTD. SURVEY, FEB. 3, 2022.



NOTE: REVEGETATION AT WALL BASE TO BE IN ACCORDANCE WITH REVEGETATION PLAN AND SPECIFICATIONS AS PREPARED BY CAM FORRESTER AND ASSOCIATES.

OUTLINE OF STEPPED FOOTING: MAINTAIN MIN. 18" FROST PROTECTION TO U/S FTG. (ACTUAL POSITION TO BE DETERMINED AT EXCAVATION)

REVISIONS:		
No:	DESCRIPTION:	DATE:
9	RE-ISSUED FOR DEV. PERMIT	JULY 4/24
8	ISSUED FOR DEV. PERMIT	JUNE 9/22
7	REVISED (IMP)	MAY 17/22
6	REVISED (IMP)	MAY 9/22
5	REVISED (IMP)	MAY 8/22
4	REVISED PRELIMINARY (IMP)	APR.22/22
3	REVISED PRELIMINARY (IMP)	FEB.17/22

REVISIONS:		
No:	DESCRIPTION:	DATE:
1	PRELIMINARY (IMP)	JAN. 21/22
2	REVISED PRELIMINARY (IMP)	JAN. 21/22

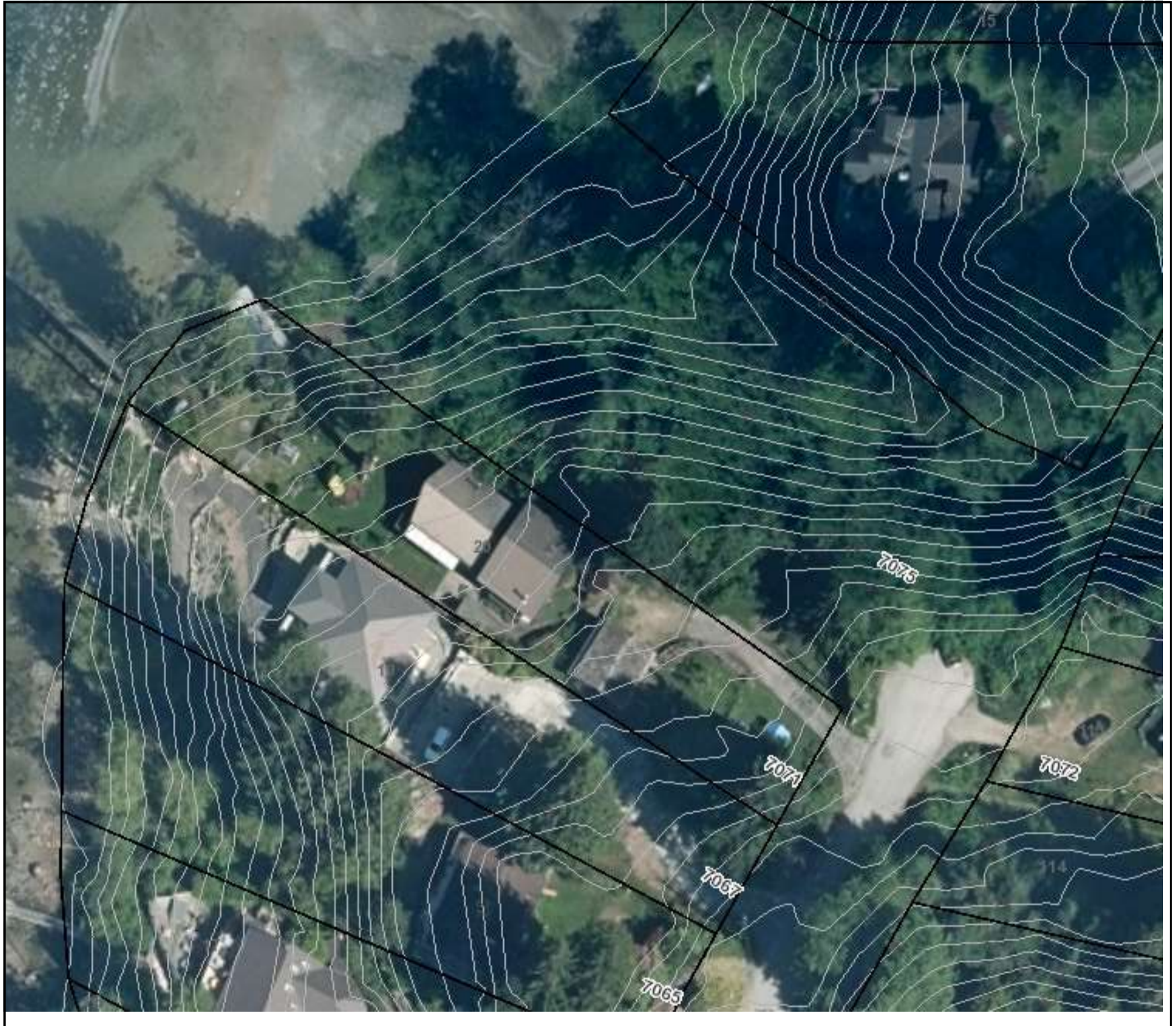
BANDSTAND VENTURES LTD.
200A 1180 Kingsway Ave.
Port Coquitlam, B.C. Canada
V5C 6N7
PH: 604 - 614 - 6052
E-mail: tom@psdbc.com

RENOVATION:
MOSS RESIDENCE
7071 PORPOISE DRIVE,
SECHELT, B.C.

SITE PLAN/ NORTH ELEVATION

Job No.: 2206
Page No.: A1 OF 2

Site layout Sketch (Geotechnical) 7071 Porpoise Drive, Sechelt, BC



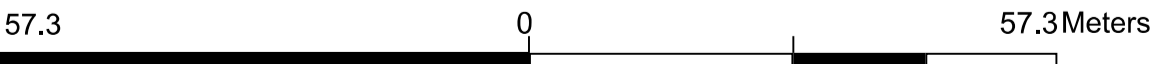
Index Map

This information has been compiled by the Sunshine Coast Regional District (SCRD) using data derived from a number of sources with varying levels of accuracy. The SCRCD disclaims all responsibility for the accuracy or completeness of this information.

- Parcel Boundaries
- Contours
- Unconstructed Roads
- Golf Courses
- Parks**
 - SCRCD Park
 - Recreation Site
 - Municipal Park
 - Provincial Park



3/22/2022
Scale 1: 1,128



2015 National Building Code Seismic Hazard Calculation

INFORMATION: Eastern Canada English (613) 995-5548 français (613) 995-0600 Facsimile (613) 992-8836
Western Canada English (250) 363-6500 Facsimile (250) 363-6565

Site: 49.500N 123.800W

User File Reference: Sechelt

2022-03-22 23:11 UT

Probability of exceedance per annum	0.000404	0.001	0.0021	0.01
Probability of exceedance in 50 years	2 %	5 %	10 %	40 %
Sa (0.05)	0.428	0.295	0.210	0.089
Sa (0.1)	0.652	0.452	0.323	0.137
Sa (0.2)	0.808	0.565	0.406	0.172
Sa (0.3)	0.817	0.574	0.412	0.172
Sa (0.5)	0.730	0.506	0.358	0.142
Sa (1.0)	0.426	0.287	0.195	0.073
Sa (2.0)	0.262	0.171	0.113	0.040
Sa (5.0)	0.085	0.050	0.029	0.009
Sa (10.0)	0.030	0.018	0.010	0.004
PGA (g)	0.354	0.248	0.177	0.074
PGV (m/s)	0.544	0.366	0.250	0.089

Notes: Spectral ($S_a(T)$, where T is the period in seconds) and peak ground acceleration (PGA) values are given in units of g (9.81 m/s^2). Peak ground velocity is given in m/s. Values are for "firm ground" (NBCC2015 Site Class C, average shear wave velocity 450 m/s). NBCC2015 and CSAS6-14 values are highlighted in yellow. Three additional periods are provided - their use is discussed in the NBCC2015 Commentary. Only 2 significant figures are to be used. **These values have been interpolated from a 10-km-spaced grid of points. Depending on the gradient of the nearby points, values at this location calculated directly from the hazard program may vary. More than 95 percent of interpolated values are within 2 percent of the directly calculated values.**

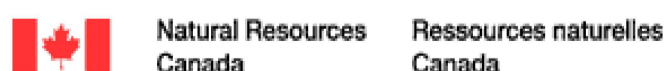
References

National Building Code of Canada 2015 NRCC no. 56190; Appendix C: Table C-3, Seismic Design Data for Selected Locations in Canada

Structural Commentaries (User's Guide - NBC 2015: Part 4 of Division B)
Commentary J: Design for Seismic Effects

Geological Survey of Canada Open File 7893 Fifth Generation Seismic Hazard Model for Canada: Grid values of mean hazard to be used with the 2015 National Building Code of Canada

See the websites www.EarthquakesCanada.ca and www.nationalcodes.ca for more information




 Cam Forrester & Associates Ltd.

6231 Sunshine Coast Highway
 Sechelt, BC V0N 3A7
 phone/fax: 604.885.7112
 cam_forrester@telus.net

MEMO

TO: Ken Moss
 FROM: Cam Forrester, RPF
 SUBJECT: Revegetation Plan for 7071 Porpoise Dr, (Lot 20, DL 6214)
 DATE: Final. Jul 10, 2024
 CC: James Nyhus, Chief Building Official

Introduction

This revegetation plan is intended to address the revegetation requirements recommended in the accepted RAPR¹ (June 17, 2022) for 7071 Porpoise Drive (Lot 20 DL6214) for disturbance resulting from construction of a 30.5m long engineered retaining wall along the north boundary of Lot 20. The revegetation area is within the Riparian Assessment Area of the lower reach of Davis Brook Creek and straddles and includes a strip along two properties. The first being Lot 20 and the second the District of Sechelt (DoS) parks property along Davis Brook Creek (Lot B) – see Figure 1. The revegetation plan acknowledges consultation information received from the DoS (Attached) on species preferences.

In terms of permitting and planning, the area of this plan falls within multiple environmental and geotechnical DP areas. This revegetation prescription supports and aligns with commitments made in the Riparian Areas Assessment Report for construction in the Environmentally Sensitive Development Area – ‘stream riparian assessment area’. The accepted RAPR states that ‘after the construction of the proposed retaining wall is completed, we recommend a post-development report to be prepared once construction and landscaping are finalized.’ All post-development landscaping/revegetation should be completed using only native plant species commonly occurring in riparian areas typical of the Sunshine Coast. (One native species exception is suggested below as a measure to soften the final appearance of the concrete wall face.)

Construction and Disturbance

The retaining wall construction and design was summarized in the RAPR as follows:

The works are a “straight, 30.5 m long concrete retaining wall parallel to the North boundary line of the property. The Easternmost point of the wall will be located 45 cm (1’ 6”) South of the boundary line, while its Westernmost point will be 76 cm (2’ 6”) from the boundary line. The proposed design for the retaining wall includes two short return walls (4.8 m and 4.6 m) near the middle of the wall, and two longer return walls (8.8 m and 11.3 m), at the west end of the wall. The westernmost wall is proposed to be located on top of a second landscaped break from the marine shoreline. The proposed return walls will provide additional stability to the main wall while helping to create terraces (breaks) on the property.

¹ Riparian Areas Protection Act Assessment Report, Hune 17, 2022. Cohen-Fernandez, Anayansi, RPBio.

These terraces, together with the construction and design consideration for optimum drainage and stability presented in Sections 4.4, 4.6 and 4.7 of this document (RAPR) will help to minimize the unintentional discharge of stormwater into the gravel path beside the property or the marine shore area. Detailed construction, design and slope stability consideration are presented on the Geotechnical Assessment Report prepared by Kontur Geotechnical Consultants, Inc. prepared for this project. The retaining wall is expected to have a variable height, between 3.5 m and 4.3 m depending on ground grade with cantilevers between 2.5 m to 3.3 m. The footprint of the proposed wall is expected to be 13.06 m² (140.6 sq ft).”

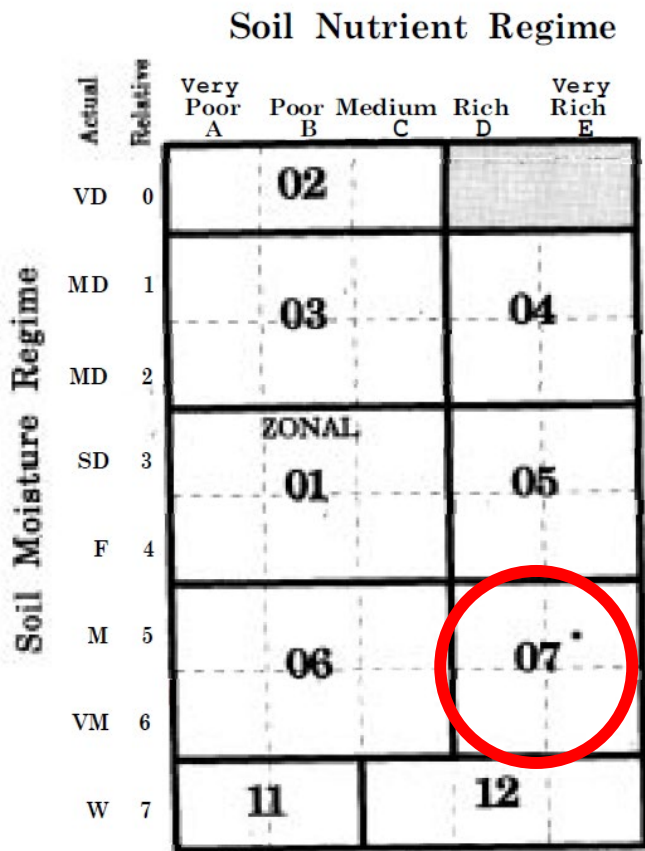
The significance of the retaining wall design relates to construction means and methods, where based on the proximity to the northern boundary of Lot 20, ground disturbance and vegetation removal is expected along the north side of the retaining wall. Working from the Lot 20 (south) side of the boundary, excavation, site preparation and backfill will extend across the boundary, encroaching into the adjacent DoS Lot B for 1-3m. That strip extending the length of the retaining wall is the subject area for this revegetation plan.

The area requiring revegetation will be the residual disturbance between the completed retaining wall and the outer extent of disturbance into Lot B, which is expected to be roughly bounded on the north side by the existing path, toe of slope or some point between those extents. The area is estimated at 120-180m².

Additionally, special consideration is given to measures using available planting techniques and species to soften the impact of the cast-in-place concrete wall structure to improve the overall site aesthetics.

Site Characterization

Referencing the BC Biogeoclimatic Classification System², the site is classified as the Coastal Western Hemlock Very Dry Maritime Subzone Site Series 05 Cedar-swordfern (SS-05) and is characterized as a High soil nutrient regime, and Moist-Wet soil moisture regime. Pre-existing plant diversity is moderately complex, characterized by a mixed overstory of western hemlock (*Tsuga heterophylla*), Douglas-fir (*Pseudotsuga menziesii*), bigleaf maple (*Acer macrophyllum*), western red cedar (*Thuja plicata*). There are also occasional scattered red alder (*alnus rubra*) and cherry (*Prunus virginiana*) present. Shrubs present are salal (*Gaultheria shallon*), red elderberry



² Land Management Handbook 28 (LMH28)

Figure 1. LMH 28 - Edatopic grid for the Coastal Western Hemlock Very Dry Maritime Subzone with generalized site series matrix for the revegetation area.

(*Sambucus racemosa*), red huckleberry (*Vaccinium parvifolium*), oceanspray (*Holodiscus discolor*). The main herb species occupying the bulk of the understory is sword fern (*Polystichum munitum*).

Site soils are characterized as well to moderately drained, with a well-developed organic layer with incorporation of organics into the mineral horizon. Texture is silt-very fine silts and sand, with approximately 30% coarse fragments.

Revegetation

The revegetation objectives for the site are two-fold. Firstly, to regenerate the disturbed ground overlapping into Lot B, and secondly to soften the industrial look of the finished wall. Plant species recommendations for this plan follows guidelines provided by the MFLNRO (Ministry of Water, Land and Air Protection, 20081F3 for riparian restoration. Specific revegetation species recommendations are aligned with the suite of ecologically native species observed on site and with the list of typical plants associated with SS-05 (LMH 28). Additionally, consideration is given to the DoS preferences for tree species (Attachment 1.) The DoS has offered preferences for tree species selection but not for shrub/herb understory revegetation.

The following table provides general guidance and intent for meeting DoS revegetation requirements. The goal is the successful establishment of suitable species at an acceptable mix and density comprised of a minimum of 10-15 trees and with an understory established where practicable. Final species mix will depend on planting stock source availability. The guidance provided here will provide flexibility and options for sourcing planting stock from commercial providers or from natural transplanting of locally sourced stock. The verified revegetation end-result combination is more important than a rigid plan. It is expected that the final densities established will be close to 1m x 1m spacing with no gaps or voids in the revegetated area > 2 planting spots.

Notes on revegetation measures to soften the impacts of the bare concrete wall surface

DoS review comments requesting efforts to soften the impact of the concrete wall can be accommodated with several focused techniques and species choices, which are as follows:

- Planting in front of the wall. The wall footing doesn't extend far enough out that it precludes planting within 1.5 – 2m as a visual screen. Planted species include any of the recommended native species, including evergreen tree species.
- 'Trailing over'. Planting species with a trailing growth form at the top of the wall will provide the effect of draping vegetation over the face of the wall. Kinnikinnick (*Arctostaphylos uva-ursi*) is recommended for these purposes as well as trailing blackberry (*Rubus ursinus*)
- Vines – it would be acceptable to establish several Virginia creeper (*Parthenocissus quinquefolia*) vines at 3-5m spacing along the wall. It is native to eastern and central

³ Riparian Restoration Guidelines, 2008, Ministry of Environment, Environmental Stewardship Lower Mainland Region

North America and with its vigorous growth form and self-adhesive climbing tendrils could be an effective means of colonizing the wall surface.

- Moss milkshake. For the more shaded parts of the wall, indigenous mosses can be established by applying a milkshake of yogurt mixed with locally sourced mosses sprayed or painted directly to the wall face. Several applications with regular misting may be required, and the applications should avoid droughty periods.

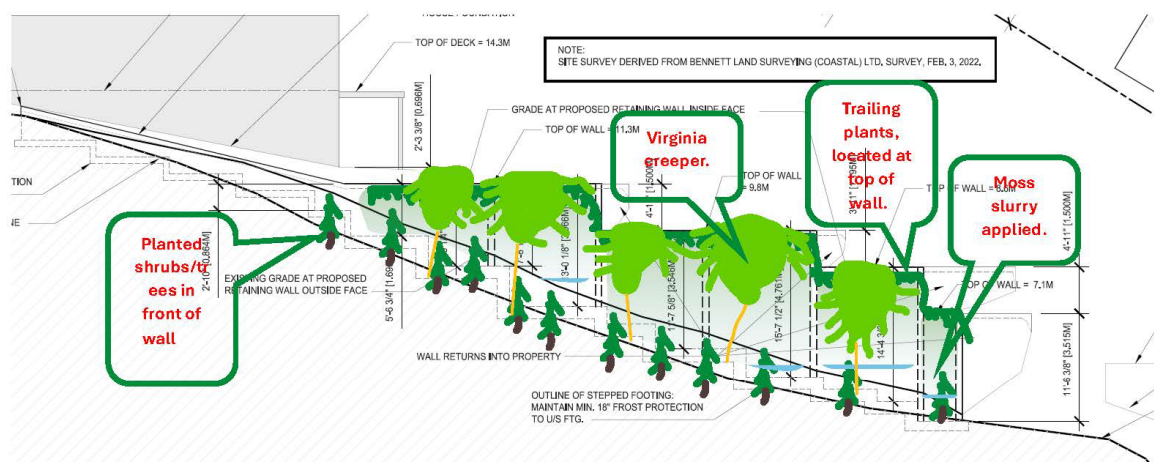


Figure 2. Concrete retaining wall profile, viewing south. Schematic representation of restoration/revegetation techniques to soften the concrete wall esthetics.

Table 1. A Summary of Recommended Native Species for the revegetation planting prescription

Deciduous Trees

Botanical Name	Common Name	Mature Height (m)	Best Growth Conditions	# Plants	Comments
<i>Acer circinatum</i>	<i>vine maple</i>	to 7	m-w	2	Select deeper soil areas, lower third of slope
<i>Salix spp</i>	<i>Scouler's willow</i>	18	W-M	10-50	Lower slopes in obvious seepage and non-shaded zones.
<i>Alnus rubra</i>	<i>Red alder</i>	25	W-M	10	Expect natural in-fill

Table 1. Continued.

Coniferous Trees

Botanical Name	Common Name	Mature Height (m)	Best Growth Conditions	# Plants	Comments
<i>Pseudotsuga menziesii</i>	<i>Coastal Douglas-fir</i>	to 50	M-D	2	
<i>Tsuga heterophylla</i>	<i>Western hemlock</i>	To 40	m	2	

Shrubs

Botanical Name	Common Name	Mature Height (m)	Best Growth Conditions	# Plants	Comments
<i>Holodiscus discolor</i>	<i>oceanspray</i>	to 4	d-m	10-20	

<i>Rubus parviflorus</i>	<i>thimbleberry</i>	0.5-3	<i>m</i>	10	
<i>Ribes sanguineum</i>	<i>flowering current</i>	2.5-3	<i>m</i>	5	
<i>Rubus spectabilis</i>	<i>salmonberry</i>	to 4	<i>m-w</i>	20	
<i>Arctostaphylos uva-ursi</i>	<i>Kinnikinnick</i>	0.5	<i>d</i>	20	<i>Plant at top of wall as a trailing species.</i>
<i>Rubus ursinus</i>	<i>trailing blackberry</i>	0.5	<i>d-m</i>	25	<i>Plant at top of wall as a trailing species.</i>
<i>Sambucus racemosa</i> var. <i>arborescens</i>	<i>red elderberry</i>	to 6	<i>m</i>	10	
<i>Vaccinium parvifolium</i>	<i>red huckleberry</i>	to 4	<i>m</i>	20	
<i>Gaultheria shallon</i>	<i>salal</i>	1-3	<i>d-m-w</i>	50	<i>Approx 2m x 2m spacing intermixed with swordfern</i>

Herbs

Botanical Name	Common Name	Mature Height (m)	Best Growth Conditions	# Plants	Comments
<i>Polystichum munitum</i>	<i>swordfern</i>	to .5	<i>d-m</i>	50	<i>Approx 2m x 2m spacing intermixed with salal</i>

Non-native species (Optional)

Botanical Name	Common Name	Mature Height (m)	Best Growth Conditions	# Plants	Comments
<i>Parthenocissus quinquefolia</i>	<i>Virginia creeper</i>	<i>Climbing</i>	<i>d-m</i>	10	<i>An optional species suited to growing on and up the wall face.</i>

Planting Practices

The following points represent several key considerations to follow to ensure revegetation success:

- Revegetation commitments will be monitored and overseen by a QEP.
- Topsoil and organics will be stripped, salvaged and stockpiled for use as top dressing to improve the planting substrate.
- Salvaging native plant species prior to stripping is recommended. Store salvaged stock in shaded and moist conditions with roots covered. Replant as soon as practicable.
- Plant any purchased stock within 2-3 days, keeping cool and moist prior to planting on site.
- Deer browse protection will be required on some of the planted stock.
- Plant stock to 1-3 inches above root collar and ensure the planting hole is closed and tamped down.
- Adjust species site selection to account for observed microsite variations in shade, drainage etc.
- Invasive species, mainly anticipated to be Himalayan blackberry and English ivy may be manually controlled to allow planted stock to establish.
- Irrigation/watering may be required during the first several growing seasons.
- The moss slurry technique is simply a blended mix of locally sourced ecologically suited mosses and plain yogurt, which can be painted onto the wall face, focusing on north facing, shaded areas. Establishment will be aided by regular misting.

Timing of Works

Restoration planting can be a fall or spring plant and should avoid seasonal summer drought. Ideally planting can commence any time after February and should be completed no later than April 15.

Monitoring

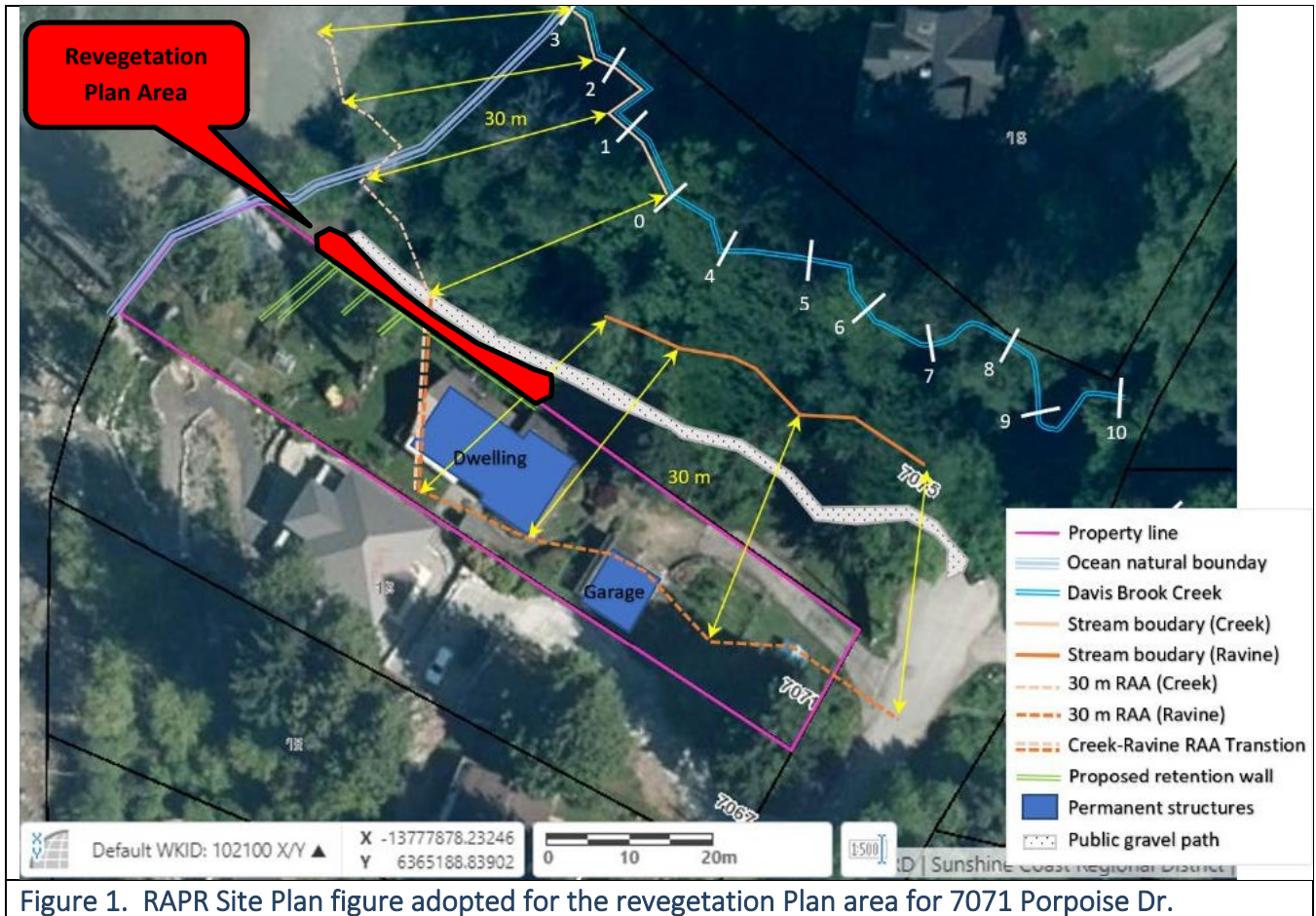
The restoration prescription relies on voluntary monitoring to identify potential plant survival or health issues as well as functioning of the riparian habitat, post-construction. Monitoring also requires a commitment by the proponent to make reasonable changes to mitigate negative outcomes and ensure that the vegetation is successfully established and that it is likely to function over time.

The primary concern of monitoring will be maintenance of vegetation survival and health conditions through verification that artificially and naturally established vegetation is healthy, vigorous, and likely to reach its potential. Specific monitoring criteria at this site will include:

- Conducting inventories of species composition, the prevalence of planted species, the ratio of non-native and invasive species to native species;
- Assessing soil moisture and the development of soil characteristics;
- Conducting general wildlife use observations within the planted area;
- Conducting photo studies to track vegetation establishment;
- Assessments will inform efforts to infill plant from the recommended species list where vegetation is slow to establish.
- Documentation of monitoring observations and corrective measures;
- If any of the restored area is assessed to not be regenerated adequately; and,
- Additional area or corrective measures will be prescribed at the discretion of the QEP.

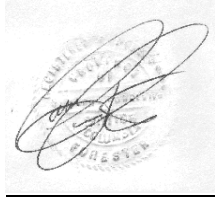
Monitoring is proposed to take place informally once in the first year after plant establishment and then again in the third year after establishment.

Monitoring notes will be available for validation purposes for each of the monitoring visits.



Qualified Environmental Professional Assurance

It is my opinion that the recommendations in this memo will achieve the revegetation objectives for the disturbance from retaining wall construction at 7071 Porpoise Dr, (Lot 20, DL 6214).



Cam Forrester, R.P.F.

2118

Date Signed – July 4, 2024

Attachment 1 – District of Sechelt Preferred Tree Species Comments (e-mail Taylor MacKay, January 11, 2024)

Fwd: Moss residence -7071 porpoise dr.

4 messages

Marc Chabot <marc@clarkhamilton.com>
To: "Cam Forrester (cam_forrester@telus.net)" <cam_forrester@telus.net>
Cc: "James clarkhamilton.com" <james@clarkhamilton.com>

Thu, Jan 11, 2024 at 4:10 PM

Hi Cam,
Here are the recommendations from DoS parks to note in your memo.
Thanks
Marc

Get [Outlook for iOS](#)

From: Taylor McKay <tmckay@sechelt.ca>
Sent: Wednesday, January 10, 2024 1:38:50 PM
To: Marc Chabot <marc@clarkhamilton.com>
Cc: Kevin Bradley <KBradley@sechelt.ca>; Siobhan Smith <ssmith@sechelt.ca>
Subject: Re: Moss residence -7071 porpoise dr.

Hi Marc,

Thanks for meeting with us yesterday.

In regards to the revegetation plan, tree species to avoid on this site would be Big Leaf Maple (*Acer macrophyllum*), Red Alder (*Alnus rubra*), and Western Red Cedar (*Thuja plicata*).

Western Hemlock (*Tsuga heterophylla*) could be a decent replacement given appropriate distance between the home and new planting location, but Douglas-fir (*Pseudotsuga menziesii*) would be preferred.

We did notice ivy originating from Ken's property and creeping into the beach access. It would be great if that could be removed and a native ground cover or shrub planted in it's place. Other than the species listed above, we are open to most BC native species for replacement.

Please let me know if I can be of any further help,
Thanks a lot.



Taylor McKay
Parks Arborist
Cell: 604-740-6705
PO Box 129 | 2nd Floor, 5797 Cowrie St. | Sechelt, BC | V0N 3A0

I acknowledge that I work on the unceded homelands of the shíshálh Nation

Photos



Photo 1. Viewing west, start of DoS trail above retaining wall development at Porpoise Dr.



Photo 2. Viewing east, revegetation area along retaining wall, note established plant cover.



Photo 3. Viewing east, revegetation area along retaining wall, note established plant cover.



Photo 4. Viewing east, revegetation area along retaining wall near ocean setback and western extent of retaining wall.

REQUEST FOR DECISION

TO: Council **MEETING DATE:** September 4, 2024
FROM: Tyson Baker, Senior Development Planner
SUBJECT: Official Community Plan and Zoning Amendments for 63 Townhomes - 5926 Shoal Way
FILE NO: 3360-2024-04

RECOMMENDATIONS

1. That first reading of Official Community Plan Amendment Bylaw No. 492-38, 2024 be considered.
2. That Council consider Official Community Plan Amendment Bylaw No. 492-38, 2024 in conjunction with the District of Sechelt Financial Plan and Waste Management Plan, pursuant to Section 477 of the *Local Government Act*.
3. That Council refer Official Community Plan Amendment Bylaw No. 492-38, 2024 to relevant organizations for comment as part of early and on-going engagement, pursuant to Section 475 of the *Local Government Act* and Council Policy 3.3.7 Official Community Plan Consultation.
4. That first reading of Zoning Amendment Bylaw No. 580-15, 2024 be considered.
5. That prior to consideration of adoption, the applicant shall:
 - a. Enter into a section 219 covenant to be registered on the property title to require an agricultural buffer be established along lands abutting the Agricultural Land Reserve. The covenant will specify the landscaping and fencing requirements for the buffer area, along with the ongoing maintenance obligations for the property owners.
 - b. Enter into a section 219 covenant to be registered on the property title to require an Environmental Sensitive Area be established and protected.
 - c. Enter into a section 219 covenant to be registered on the property title to require a Road Reservation Agreement for the extension of Reef Road and a lane through the property.
 - d. Confirm their water demand reduction and conservation plans to be implemented at the development permit stage.
 - e. Pay an agreed upon Community Amenity Contribution based on Council policy to be split equally between the Community Amenity and Affordable Housing

Reserve Funds, or pay Amenity Cost Charge fee if bylaw is in place at the time of third reading.

PURPOSE

To present to Council with an Official Community Plan (OCP) and rezoning amendment application for a property located at 5926 Shoal Way for a new townhouse development consisting of 63 dwelling units. OCP and Zoning Bylaw amendment bylaws for first reading are attached for Council’s consideration.

OPTIONS

1. Defer the application pending additional information as directed.
2. Reject the application.

DISCUSSION

Proposal/Summary

The applicant is proposing to construct 63 townhouse dwellings in 13 buildings with various unit sizes ranging from 109.6 to 139.4m² (1,180-1,500 ft²) on the subject property. The intent of the different unit sizes is to cater to a diverse range of housing needs, from young people to families, seniors or others. A breakdown of the number of bedrooms per unit type or provided below:

Unit Type	Quantity	Gross Floor Area	Number of Bedrooms
Unit A	29	109.6 m ² (1,180 ft ²)	2
Unit B	10	121.7 m ² (1,310 ft ²)	3
Unit C	13	132.8 m ² (1,430 ft ²)	3
Unit D	11	139.4 m ² (1,500 ft ²)	4
Total	63	7,655.2 m² (82,410 ft²)	2-4 (Range)

The location of the subject property is located within the Urban Containment Boundary identified within the OCP, which was created to limit urban sprawl and to focus development on the town centre, neighbourhood centres and areas that have existing infrastructure. The subject property is located close to Kinnikinnick Elementary School, community recreational facilities, greenspace, and bus routes.

As part of the updated draft Transportation Master Plan, staff have identified Reef Road as an important secondary north-south connection. Reef Road would be built to a local road standard and service many of the local residents in the area while Fairway Avenue would be a collector

standard road. Due to the importance of this north-south connection, it may be part of a District of Sechelt capital infrastructure project to be completed in the future. As part of this development, road dedication of approximately 4,401 m² (26.6%) of the site would be required to allow Reef Road to be extended north from Shoal Way through the site before veering northwest to connect to Gale Avenue South which would eventually connect to Ripple Way to the north.

There will also be a small urban lane as part of this dedication proposed to run parallel to the Reef Road extension. Reef Road would have a 20-metre cross section which is typical of a standard urban street.

Approximately 3,470.50 m² (21%) of the site will be in an environmentally sensitive area (habitat protection) covenant and will be used as a natural wetland habitat. Additionally, due to the subject property abutting lands in the Agricultural Land Reserve (ALR), the applicants would be creating an agricultural buffer that is approximately 984.9 m² (6%) of the site which would act as landscape screen along the eastern and a portion of the northern property lines, mitigating or reducing impacts on adjacent ALR properties and current or potential future farm uses. Furthermore, this agricultural buffer will be registered as a section 219 covenant, informing potential residents of the buffer as well as ensuring the strata maintains the buffer. The covenant would be in place in perpetuity and would meet section 8.7 of the OCP.

Overall, the proposal is consistent to other development occurring in the area, most notably the recently approved (February 2024) townhouse development located at 5981 Shoal Way (117 townhouse dwellings), as well as recent subdivisions occurring along Ripple Way. Overall, staff support the proposed development.

Legislative Context

Because the proposal is not consistent with the Official Community Plan (OCP), an OCP amendment is required to change the land use designation to permit such a use. Public Notice and a public hearing will be required, as per section 464 of the *Local Government Act*.

Background

Table 1 – Application Information

Applicant	CityState Consulting Group
Owner	1352952 B.C. LTD., INC.NO. BC1352952
Civic Address	5926 Shoal Way
Legal Address	LOT B BLOCK 7 DISTRICT LOT 1471 GROUP 1 NEW WESTMINSTER DISTRICT PLAN BCP10125
Size of Properties	16,559.91 m ²
OCP Designation	Residential
Zoning Designation	R-2 – Low Density Residential
DP Areas	DPA 5 – Steep Slopes

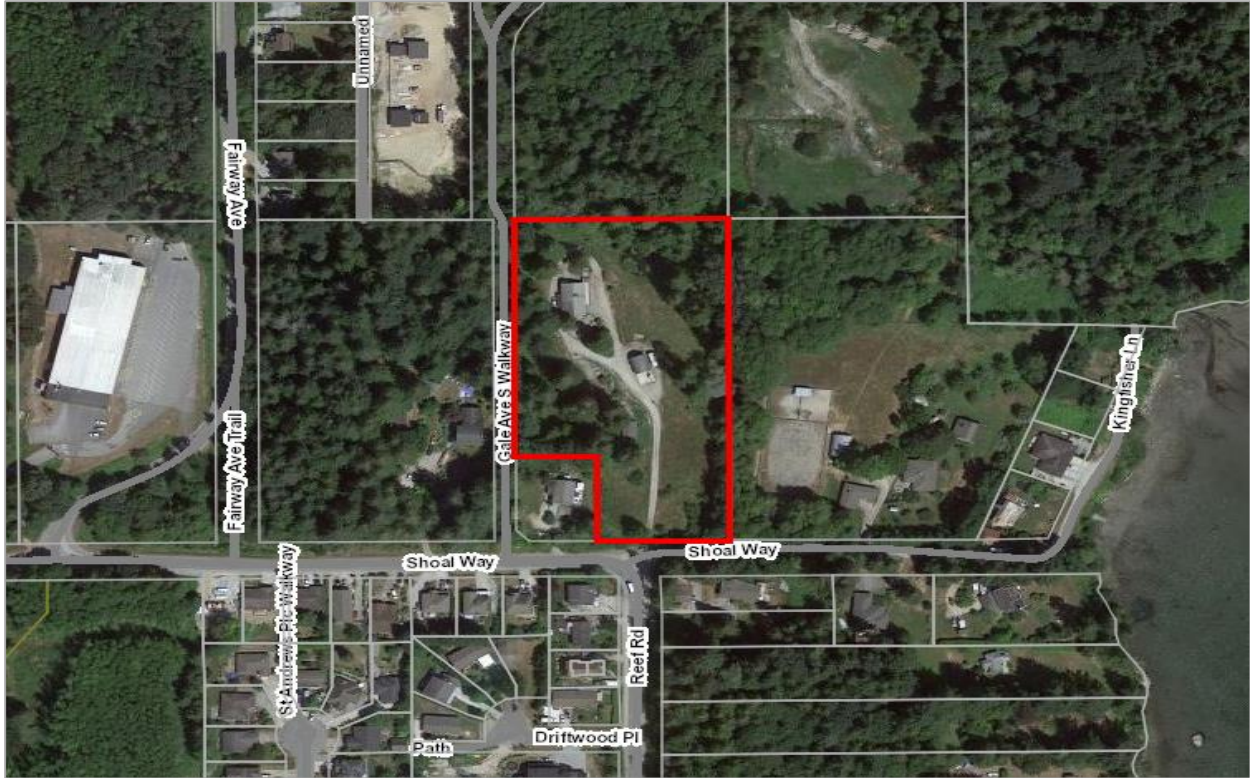


Figure 1 – Subject Property Location

POLICY AND BYLAW IMPLICATIONS

Official Community Plan

The proposed development’s density is not supported in the Residential designation. Therefore, an amendment to the Official Community Plan (OCP) will be required to increase the permitted density within Residential designation on this particular lot. The amendment will include increasing the following:

Regulation	Permitted	Proposed
Units per Hectare (UPH)	35	38

Zoning Bylaw

The property is currently zoned Low Density Residential (R-2) which does permit up to four townhouses. Therefore, to achieve 63 townhouses on the subject party, the site would need to be rezoned to Medium Density Residential (R5). Additionally, there will be site-specific amendments for the proposal regarding reducing setbacks, visitor parking and increasing density. These site-specific amendments are as follows:

Regulation	Permitted	Proposed
Units per Hectare (UPH)	35	38

Parking (Visitor)	13	1
Front Lot Line Setback	5.0m	1.5
Exterior Lot Line Setback	3.0m	1.5m
Any Setback from a Lane	5.0m	0.0m

These requests are required due to the lands being either dedicated or protected from development. The applicant is justifying the reduction in on-site visitor parking spaces by noting that there will be approximately 33 on-street parking spaces abutting the site.

SUSTAINABILITY PLAN IMPLICATIONS

- 1. Social Sustainability and Community Well Being
- 3. Environmental Sustainability
- 6. Sustainable Community Growth and Development
- 7. Leadership in Sustainability

STRATEGIC PLAN IMPLICATIONS

- 2. Housing
- 5. Commitment to Climate Change Mitigation, Adaptation, and the Preservation of the Natural Environment

COMMUNICATIONS

Public Notice and a Public Hearing would be required for this application at a later date, subject to Council’s support for the application. If approved by Council, a Public Hearing would be advertised in the newspaper, District website and social media.

Respectfully submitted,

Tyson Baker
Senior Development Planner

Attachments:

- 1 – Letter of Intent
- 2 – Architectural Design Package
- 3 – Landscape Design Package

Bylaws for Readings:

- OCP Amendment Bylaw No. 492-38, 2024
- Zoning Amendment Bylaw No. 580-15, 2024

Attn: Mr. Ian Holl, Manager, Development Planning
 Planning and Development Services Division
 District of Sechelt
 2nd Floor, 5797 Cowrie Street
 Sechelt, BC V0N 3A0

June 7, 2024

Dear Mr. Holl,

Re: Letter of Intent for OCP Amendment & Rezoning Application (5926 Shoal Way)

On behalf of 1352952 B.C. Ltd. (the “Owner”), CityState is pleased to present a joint OCP Amendment and Zoning Amendment application for 5926 Shoal Way (the “Site”). The intent of the proposed bylaw amendments is to facilitate the development of 13 slab-on-grade buildings comprised of 63 Townhouse units.

The proposed development includes a combination of unit sizes ranging from two to four bedrooms, meant to meet the needs of families and the local workforce. It also proposes protection of a 0.86 ac Environmental Protection Area.

The purpose of this letter is to provide an overview and planning rationale for our application for staff and Council’s consideration. Our project team is listed below. Any correspondence related to this application can be directed to the applicant, CityState Consulting Group.

Role	Company / Individual(s)	Contact	Email
Owner	1352952 B.C. Ltd.	James Liu	jamesliu@royalpacific.com
Applicant	CityState Consulting Group	Aidan Shirley	aidan@citystate.ca
Planner	CityState Consulting Group	Aidan Shirley	aidan@citystate.ca
Architect	Aplin & Martin Consultants	Homayoun Rad	hrad@aplinmartin.com
Landscape Architect	Ekistics	Joe Zhou	zhou@ekistics.ca
Arborist	Diamond Head Consultants	Mike Coulthard	mike@diamondheadconsulting.com
Biologist	Diamond Head Consultants	Mike Coulthard	mike@diamondheadconsulting.com
Surveyor	Aplin & Martin Consultants	Homayoun Rad	hrad@aplinmartin.com
Civil Engineer	Gwaii Engineering	Josh Bartley	jbartley@gwaiieng.com
Geotechnical Engineer	GeoPacific Consultants	Matt Kokan	kokan@geopacific.ca

Sincerely,



Aidan Shirley
 Development Manager, CityState Consulting Group

BACKGROUND

The Site is 16,548 m² (4.09 ac) and is surrounded by vacant land to the north and Single-Detached Dwelling uses to the south, east, and west. There is also a 10 m unopened road allowance to the west of the site, just east of 5960 Shoal Way. The property is improved with one Single-Detached Dwelling built circa 1994 and multiple small, accessory structures.

The north portion of the Site is encumbered by a Provincially protected network of streams and wetlands. Many of these features are man-made and will be protected in their existing condition as part of the proposed development. It is anticipated that this area will remain as part of the Site to be owned by the strata corporation, as it provides little useful value to the District of Sechelt (the “District”). The Owners are open to discussing the future ownership of this area if the District feels differently.

CityState, the Owners, and the project’s design team participated in a pre-application meeting with Ian Holl, Sven Koberwitz, and Meghan Lee on September 8, 2023, and have corresponded continually with District staff since then to compile an application that meets the District’s vision for redevelopment. We hope that this application can be considered promptly by Council for Permission to Proceed.

It should be noted that this is CityState’s third application in West Porpoise Bay, following active applications for 5981 Shoal Way and 5875 Reef Road. These three projects are separately owned and CityState’s involvement in each project is limited to a consulting capacity.

LAND USE

OFFICIAL COMMUNITY PLAN

District of Sechelt Official Community Plan Bylaw No. 492, 2010 (the “OCP”) designates the Site as Residential. OCP [policy 5.6](#) states that “intensive residential use [including] ground-oriented attached housing forms such as townhouses or row houses” may be considered for Residential-designated lots. Generally, these lots must have an area over one acre or be compatible with surrounding uses to be considered for such uses. These sites are allowed the provisions of Density Level 4, as defined by [Figure 17](#), which include:

- Max. 0.75 FAR
- Max. 35 UPH
- Max. 3 storeys

Updates to Figure 17 have been proposed by staff and granted first and second readings by Council. Proposed [District of Sechelt Official Community Plan Amendment Bylaw No. 492-35, 2023](#) (the “OCP Density Updates”) contemplates increasing the maximum Floor Area Ratio (“FAR”) to 1.00 and removing the Units Per Hectare (“UPH”) limitation for the Residential designation. If the OCP Density Updates are adopted by Council and enacted prior to adoption of the subject bylaw amendment application, the proposed development would not require an OCP Amendment. CityState has previously stated our support for the OCP Density Updates, as they will enhance consistency between District land use policy and Council’s stated desires for housing forms in new developments.

ZONING

District of Sechelt Zoning Bylaw 580, 2022 (the “Zoning Bylaw”) designates the Site as [Residential Two Zone — Low Density \(R2\)](#). To facilitate the proposed development, we propose to amend the zoning designation to [Residential Five Zone — Medium Density \(R5\)](#). We believe that the regulations of the R5 zone provide an appropriate baseline for the proposed development, except that the following site-specific regulations are requested and required:

1. Maximum density is 38 Dwelling Units per ha;
2. Minimum Setback from a Lot Line abutting private property or a Highway other than a Lane is 1.5 m;
3. Minimum Setback from a Lot Line abutting a Lane is 0.0 m;
4. Minimum number of off-street Parking Spaces for visitor use is 1.

A site-specific regulation for Lot Width may be required should staff interpret the application of this term differently than assumed.

PROJECT STATISTICS

A full summary of the proposed development’s statistics is outlined below. Red font indicates the need for a site-specific regulation to accommodate the proposed development.

Specification	Bylaw Requirement	Proposed	Δ
Lot Area	≥4,000 m ²	16,548 m ²	+12,548 m ²
Lot Width	≥20 m	128.02-199.34 m	+108.02 m
Lot Coverage	≤50%	23%	-27%
Units Per Hectare (UPH)	≤35	38	+3
Unit Count	≤58	63	+5
2-bedroom	-	29	-
3-bedroom	-	23	-
4-bedroom	-	11	-
Gross Floor Area (GFA)	≤9,929 m ²	7,656 m ²	-2,273 m ²
Floor Area Ratio (FAR)	≤0.60	0.46	-0.14
Building Height	≤10.5 m	10.5 m	-
Vehicle Parking	≥139	126	-12
Resident	≥126	126	-
Visitor	≥13	1	-12
Bicycle Parking	≥76	77	+1
Long-term	≥63	63	-
Short-term	≥13	14	+1
Front Lot Line Setback	≥5.0 m	0.0-1.5 m	-5.0 m
Side Lot Line Setback (Interior)	≥1.5 m	1.5 m	-
Side Lot Line Setback (Exterior)	≥3.0 m	1.5-5.0 m	-1.5 m
Rear Lot Line Setback	≥5.0 m	0.0-6.0 m	-5.0 m

LOCATION & DEVELOPMENT CONTEXT

The Site is located north of Shoal Way at the north end of Reef Road. Active development applications in the neighbourhood include 117-unit and 49-unit Townhouse projects (also managed by CityState), three Subdivision applications totalling 71 new lots north of Ripple Way, and a two-lot Subdivision application south of the Site on Reef Road. The prevalence of large lots in the neighbourhood which are designated Residential or Special Infill in the OCP presents an opportunity for future multi-family infill development.

The Site is located within walking distance of excellent amenities, including Kinnikinnick Elementary School, Sunshine Coast Arena, Suncoast Racquet Club, Blue Ocean Golf Club, Little Scholars Child Care, Sechelt Life Community Church, several sports fields, and abundant passive and activated public park space. The Site is ideally situated to promote a vibrant, well-rounded quality of life.

HOUSING NEEDS

UNIT TYPOLOGIES

[Figure 29](#) of the *Sunshine Coast Housing Needs Report* (“SCHNR”) states that 75% of Sechelt dwellings are single-detached dwellings, while [Table 8](#) shows that 68% of Building Permits issued by the District from 2015-2019 were for single-family dwelling units. Housing trends in Sechelt show that the market for Single Detached Dwellings continues to outpace multi-family housing forms, despite the marked need for smaller unit sizes (see [Table 40](#)) and considerable affordability gap between detached and attached typologies (see [Table 15](#)).

The proposed development includes four unique unit layouts ranging from 109.6-139.4 m² (1,180-1,500 ft²). These include 29 two-bedroom units, 23 three-bedroom units, and 11 four-bedroom units. These units will provide opportunities for larger household typologies (typically 2+ individuals) to establish roots in Sechelt with room to grow into a family-sized unit. The selection of unit sizes represents the most balanced unit mix of CityState's three applications in West Porpoise Bay (the other two being located at [5981 Shoal Way](#) and [5875 Reef Road](#)). The 29 two-bedroom units will complement Phase 1 of our development at 5981 Shoal Way, which delivers 28 compact two-bedroom units targeted towards the middle-income workforce, including teachers, first responders, tradespeople, and healthcare workers. The 34 three- and four-bedroom units are similar to those provided at 5875 Reef Road and are targeted at family-oriented households who cannot afford a detached housing unit or prefer the community of a multi-family development.

We believe that these housing typologies complement the surrounding form and character while delivering much-needed densification in an amenity-rich neighbourhood.

HOUSING TENURES

All units in the proposed development are market ownership units. This reflects the desire that families and young professionals have to enter the housing market when considering the Sunshine Coast as their long-term home.

DESIGN

SITE LAYOUT

District staff indicated at the outset of the project that the northward extension of Reef Road through the Site and adjacent properties to Ripple Way would be required as a condition of staff support for redevelopment of the Site. A road alignment that meets District of Sechelt Subdivision and Development Control Servicing Standards Bylaw No. 430, 2003 ("SDCSS Bylaw") standards and aligns continuously with Reef Road to the south and Gale Avenue South to the north set the foundation for a Site Plan that includes the 13 proposed Townhouse buildings. Through further discussions with District staff, the Site Plan was revised to maximize building frontages and a friendly streetscape along Reef Road, requiring vehicle access from a rear lane or strata road. The dedications of Reef Road and public lane access to Buildings 1-10 significantly impacted the proposed development and necessitates site-specific zoning regulations 2-4 listed in the ZONING sub-section of this letter. Further description of the proposed road dedications is discussed in the ACCESS & TRANSPORTATION section of this letter.

ARCHITECTURE

Aplin & Martin Consultants is the Architect of record for the project. The enclosed Architectural Plans & Drawings include a Site Plan, Project Statistics, Floor Plans, Roof Plans, and Building Elevations. Renderings will be provided prior to consideration of the project by Council or Advisory Planning Commission ("APC").

All units in the proposed development are three storeys, including a private, enclosed garage on the ground floor and two storeys of living space above. Each unit will also have a self-contained rooftop patio to provide useable outdoor space for residents. The dimensions of these spaces will be confirmed at the Development Permit stage of the project and are expected to meet Development Permit Area ("DPA") #7 guidelines for minimum patio and balcony provisions per bedroom in each unit.

The high-level Architectural inspiration for this project is a modern, West Coast-inspired theme, with coastal colours and materials and varied roof lines. The OCP provides guidelines for the form and character of new multi-family developments within DPA #7. Detailed design considerations will be made at the Development Permit stage of this project to meet these guidelines.

LANDSCAPING

A Landscape Plan prepared by Ekistics includes a mix of native, drought-tolerant plant species. Several proposed plant species are also pollinator-friendly and/or suitable for planting in rain gardens, underscoring the project's sustainability principles.

Several areas throughout the site are proposed for social activation, including meandering pathways, benches, rain gardens, play areas, and features such as fountains and trellises.

AMENITIES

Private patio and balcony spaces will be provided in accordance with DPA #7 guidelines. Due to the separation of the development areas caused by the requisite road allowances, common amenity areas are limited to the small social nodes mentioned in the LANDSCAPING sub-section of this letter. It is not anticipated that more substantial common amenity spaces would be well used; such spaces would also increase purchase and operational costs for residents, decreasing the affordability of the proposed units.

ACCESS & TRANSPORTATION

ROAD EXTENSIONS

We understand that the District is currently undertaking a Transportation Master Plan review and update in consultation with Stantec. District staff have suggested that a new vision is forthcoming for the neighbourhood road network in West Porpoise Bay, which includes a northward extension of Reef Road to connect to Gale Avenue South at Ripple Way, reducing long-term traffic flow along Shoal Way. The enclosed Site Plan shows a 20 m cross-section for Reef Road based on the [SR-5](#) (“Urban Local Road”) standard in the SDCSS Bylaw, which District staff indicated to be the appropriate cross-section for this road.

The proposed road dedications, including Reef Road and the parallel public lane to the east, comprise a total of 4,401 m², or approximately 27% of the Gross Site Area. District staff have stated that these road allowances should be constructed by the Owner and dedicated to the District. The enclosed Site Plan shows the extent of the proposed roadworks, up to the west side of the adjacent 10 m unopened road allowance. Preliminary cost estimates for these roadworks are in the order of millions of dollars. Approximately 236.59 m² (2,546.62 ft²) of land from the adjacent property at 5960 Shoal Way is required to complete the full 20 m road width to the north property line of the Site. The Owner will not negotiate directly with the owner of this property, as it creates an undue burden, financially and temporally, for the proposed development. It is expected that the 10 m half-road provision will be sufficient to allow two-way vehicle travel for the foreseeable future until the District acquires the remaining 10 m from the neighbouring owner. A 10 m half-road provision was previously deemed acceptable for the Links Street extension required for our project at 5981 Shoal Way. The District already owns the 20 m road allowance needed to complete the road connection northward to Ripple Way.

VEHICLE ACCESS

Vehicle access to the proposed development will be from the Reef Road extension to the north and from either Reef Road or the proposed laneway to the south. Twenty-two of the proposed units (18 on the west side of the Site and four on the east side of the Site) are accessed directly from a private site road. A Trip Generation Report will be completed and provided prior to a Public Hearing (if required) or third reading. The requirements for a full Traffic Impact Study are not met based on the number and typological classification of units in the proposed development.

PARKING

All units in the proposed development include two enclosed parking spaces for private resident use. The availability of 33 on-street parking spaces renders the provision of off-street visitor parking spaces redundant and burdensome, especially given that the utilization of these parking spaces is not expected to reach capacity. These 33 parking spaces include three accessible parking spaces designed in accordance with [sections 3.4 and 3.5](#) of the Zoning Bylaw. One off-street accessible visitor parking space is located adjacent to the proposed public lane in the eastern portion of the Site to ensure accessibility to all units. The siting of required parking spaces for visitor use within the Reef Road right-of-way (“ROW”) requires a site-specific zoning regulation for the proposed development. Parking spaces within public road ROWs will not be marked for the exclusive use of visitors to the proposed development. Rather, all 33 parking spaces will be available to all potential users, which is expected to account for the shortage of visitor parking on the Site.

PUBLIC TRANSPORTATION

The subject site is located ±33 m and ±129 m from northbound and southbound bus stops, respectively. These stops are served by the number 3 bus route, running from Sechelt Arena to the Downtown core. Service is infrequent, running approximately every 1.5 hours. Inquiries to BC Transit regarding the frequency of service and quality of bus stop infrastructure remain without response.

ACTIVE TRANSPORTATION

A variety of amenities are accessible within walking distance, including a school, daycare, church, parks, and recreational facilities. The proposed development is also a 10-minute bicycle ride from the centre of Downtown. Reef Road was recently widened to accommodate a new bike line, which will enhance cyclist safety and connectivity to the site.

Provision of 14 short-term bicycle parking spaces and enclosed long-term bicycle parking within garages encourages active transportation and exceeds the 13 short-term bicycle parking spaces required under [section 3.7.4](#) of the Zoning Bylaw.

SERVICING

UTILITIES & ELECTRICAL

A Conceptual Site Servicing Plan has been prepared by Gwaii Engineering. Underground water, sanitary, drainage, and electrical mains are proposed under Reef Road and the proposed lane ROW. Two Pad-Mounted Transformers (“PMTs”) are proposed—one on either side of Reef Road. Final, detailed servicing drawings will be completed at the Development Permit stage.

WASTE COLLECTION

Forty-one (65%) of the proposed units are accessed from a public lane ROW, while the other 22 units (35%) are accessed from private site roads. It is possible that a combination of public and private waste collection contracts will be required to serve the proposed development. This will be determined at the Development Permit stage when considerations such as phasing and road accesses are finalized. If private collection is necessary, CityState will engage AJM Disposal Services Ltd. (“AJM”) to provide feedback with respect to waste collection and staging. At present, the proposed development is designed to allow for curbside collection to the east of Reef Road and a common collection area on the west side of Reef Road.

POSTAL SERVICE

One community mailbox is proposed on each side of Reef Road, each adjacent to a public road ROW. Final locations will be determined pending input from Canada Post.

ENVIRONMENT

MATURE TREES

An Arborist Report and Tree Inventory Plan completed by Diamond Head Consultants identifies 54 Protected Trees on the Site, as defined under [section 2](#) of *District of Sechelt Environmental Management and Protection Bylaw No. 484, 2009* (the “Environmental Management and Protection Bylaw”). No off-site Protected Trees are expected to be impacted by the proposed development. In total, 17 Protected Trees (31%) are identified for retention, while 37 (69%) must be removed to accommodate the proposed development and roadworks. Of the 37 Protected Trees proposed for removal, 14 (38%) are within a proposed public road ROW, and a further nine (24%) have a Tree Protection Zone which encroaches into a proposed public road ROW. These 23 trees are exempt from the Environmental Management and Protection Bylaw under [section 5\(f\)](#) of same. Only 14 Protected Trees (38% of removed trees; 26% of total Protected Trees) must be removed for the sole purpose of accommodating the proposed development. [Section 14\(a\)](#) of the Environmental Management and Protection Bylaw requires that Replacement Trees are planted at a 1:1 ratio. Native tree replanting will occur within the proposed development (see Landscape Plan). A cash-in-lieu contribution may be required, depending on the caliper of proposed tree plantings.

ENVIRONMENTAL PROTECTION AREA

A 0.86 ac area towards the north end of the Site is Provincially protected due to the presence of two man-made ponds, one wetland complex, and several man-made ditches. A Watercourse Assessment Report completed by Diamond Head recommends that the minimum setbacks required under the Riparian Areas Protection Regulation (“RAPR”) are applied to these features. Aside from the demolition of existing structures, no works are proposed in this area. The area will be protected by covenant and fenced off from public access. It is anticipated that this area will remain as part of the Site to be owned by the strata corporation, as it provides little useful value to the District—although this is ultimately subject to decision by Council.

ENERGY EFFICIENCY

Until May 1, 2023, the District required that new buildings meet or exceed Step 1 of the *BC Energy Step Code* (the “Step Code”). Thereafter, the Provincial government mandated that all new buildings meet or exceed parameters equivalent to Step 3 of the Step Code. The proposed development conforms to these requirements, as also stipulated under [section 20.1](#) of *District of Sechelt Building Bylaw No. 409, 2003*.

GEOTECHNICAL

[Schedule E1](#) of the OCP identifies localized areas of the Site to be within DPA #5 (Steep Slopes). A Geotechnical Investigation Report was completed by GeoPacific Consultants following a site visit in January 2023. The report assessed the feasibility of multiple wood frame townhouse structures with at-grade paved parking. Nine solid stem auger test holes were advanced to depths of 4.6 m below grade. Static groundwater was not encountered during the investigation and is expected to be present well below proposed development grades. The report states that some imported fill is likely to be required during re-grading and that “the proposed redevelopment is feasible, provided the recommendations outlined in this report are incorporated into the overall design and construction.”

ARCHAEOLOGY

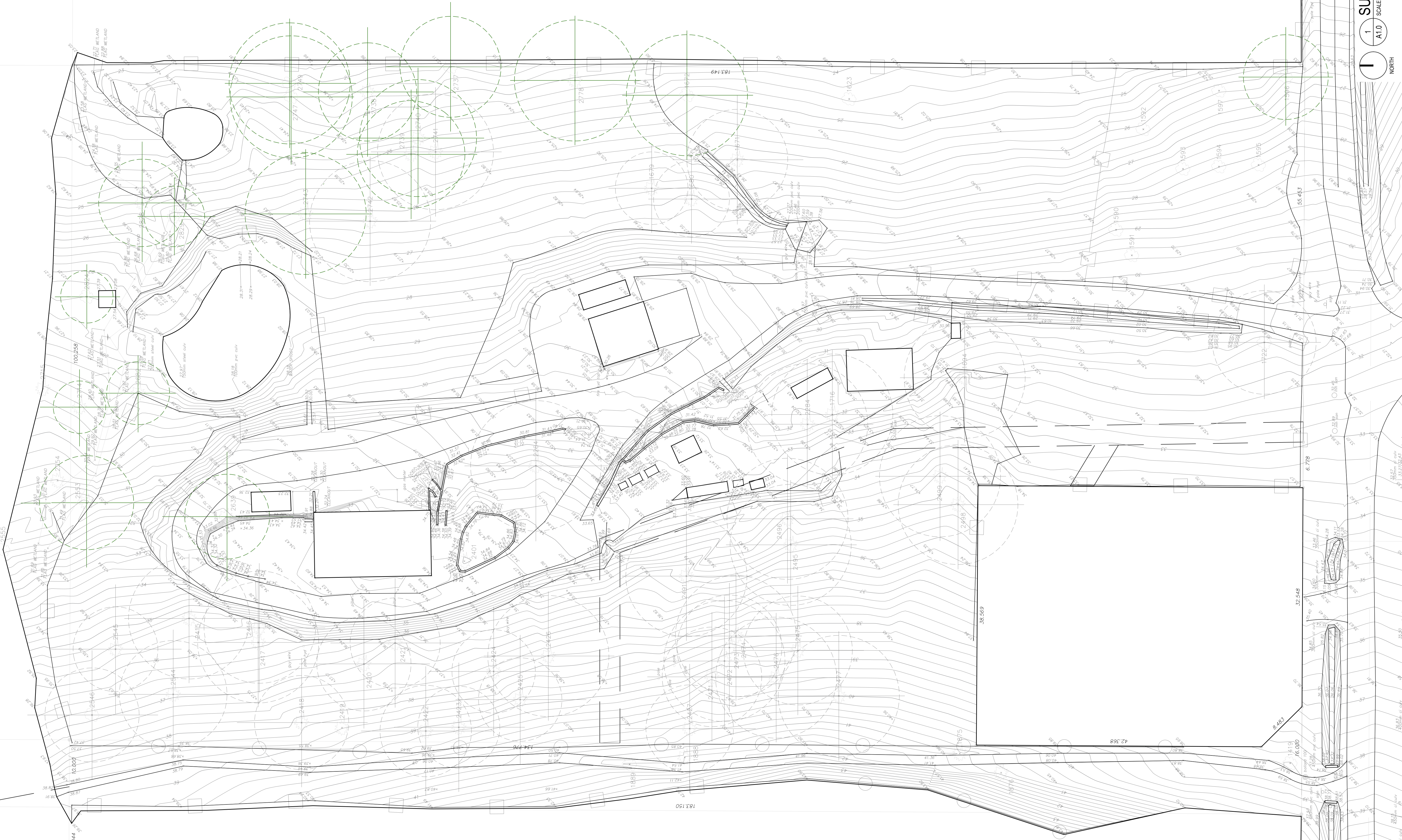
A Data Request has been submitted to the BC Archaeology Branch to confirm the absence of recorded archaeological findings on the Site. The results of this data request will be provided to the District once received. It is expected that the subject application will be referred to the shísháhl Nation (the “Nation”) for comment. CityState and the Owner will consider input from the Nation upon receipt.

PUBLIC CONSULTATION

CityState and the Owner are committed to early and ongoing engagement. We employ a mix of methodologies to engage neighbours and solicit feedback about our projects. It is expected that a combination of in-person and online engagement methods will be used throughout the lifetime of this project.

CONCLUSION

The enclosed joint OCP Amendment and Zoning Amendment application for 63 Townhouse units represents a considerable contribution to address Sechelt’s housing needs. Careful consideration has been taken to design a project that delivers a balanced mix of two-, three- and four-bedroom unit sizes, geared towards families and everyday workers. The proposed development also delivers public road and utility extensions and protection of a 0.86 ac Environmental Protection Area. We appreciate your review of our application and are available to respond to comments or questions at any time. We look forward to presenting this proposal to Council and APC. Correspondence related to this application can be directed to Aidan Shirley, Development Manager, at aidan@citystate.ca.



REV	DATE	DESCRIPTION	DR	RV
1	MAY.17.24	ISSUED FOR REZONING	VD	JHHR

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

PROJECT: **MULTI-FAMILY RESIDENTIAL DEVELOPMENT**
5626 SHOAL WAY
SECHELT, BC V0N 3A6

SHEET TITLE: **SURVEY PLAN**

SCALE 3/64" = 1'-0"	REVISION 1
DRAWING NO. A1.0	PROJECT NO. 22-2020

PROJECT STATISTICS

LOT INFO	ADDRESS	5926 SHOAL WAY, SECHELT, BC V0N 3A6
	PID	025-894-811
	LEGAL DESCRIPTION	LOT B, BLOCK 7, PLAN BCP10125, DISTRICT LOT 1471, GROUP 1, NEW WESTMINSTER LAND DISTRICT, EPBCP10126

LAND USE		EXISTING	PROPOSED
	ZONING	RESIDENTIAL TWO ZONE - LOW DENSITY (R2)	RESIDENTIAL FIVE ZONE - MEDIUM DENSITY (R5)
	OCP DESIGNATION	RESIDENTIAL	RESIDENTIAL
	DEVELOPMENT PERMIT AREAS	STEEP SLOPES (DPA #5); MULTIPLE FAMILY RESIDENTIAL (DPA #7)	

SITE STATISTICS		SQUARE METRES	SQUARE FEET
	GROSS LOT AREA	16,547.92	178,120.33
	MINUS: ROAD DEDICATIONS	4,401.22	47,374.32
	NET SITE AREA	12,146.70	130,746.01
	ENVIRONMENTAL PROTECTION AREA	3,470.50	37,356.20
	ALR SETBACKS	984.90	10,601.35
	DEVELOPABLE AREA	7,691.30	82,788.46

DEVELOPMENT STATISTICS		ZONING REGULATION	PROPOSED
	LOT COVERAGE (BUILDINGS)	50% (8,273.96 m ²)	23.2% (3,831.32 m ²)
	LOT COVERAGE (BLDGS., DRWY., PRKG.)	50% (8,273.96 m ²)	29.0% (4,800.95 m ²)
	FLOOR AREA RATIO	0.60 (9,928.20 m ²)	0.46 (7,656.14 m ²)
	UNIT COUNT	Max. 58	63
	BUILDING HEIGHT	10.5 m	10.5 m

LOT DIMENSIONS		ZONING REGULATION	PROPOSED		
			PARCEL 1	PARCEL 2A	PARCEL 2B
	LOT WIDTH	Min. 20m	128.02m	162.76m	199.34m
LOT DEPTH	N/A		Min. 0m	Min. 9.00m	Min. 17.22m
			Max. 40.54m	Max. 16.00m	Max. 100.28m

SETBACKS		ZONING REGULATION	PROPOSED		
			PARCEL 1	PARCEL 2A	PARCEL 2B
	SETBACK: FRONT	5.0 m	1.5m	1.5m	0m
	SETBACK: SIDE (INTERIOR)	1.5 m	1.5m	0m	N/A
	SETBACK: SIDE (EXTERIOR)	3.0 m	5.0m	5.0m	1.5m - 5.0m
SETBACK: REAR	5.0 m	1.5m	0m	6.0m (ALR)	

PARKING		ZONING REGULATION	PROPOSED
	RESIDENTIAL USE	63 UNITS x 2 SPACES = 126 SPACES	126 SPACES
	VISITOR USE	63 UNITS x 0.2 SPACES = 13 SPACES	1 SPACE
	TOTAL PARKING SPACES	139 SPACES	127 SPACES

1	JUN.06.24	ISSUED FOR REZONING APPLICATION	VD	JH/R
REV	DATE	DESCRIPTION	DR	RV

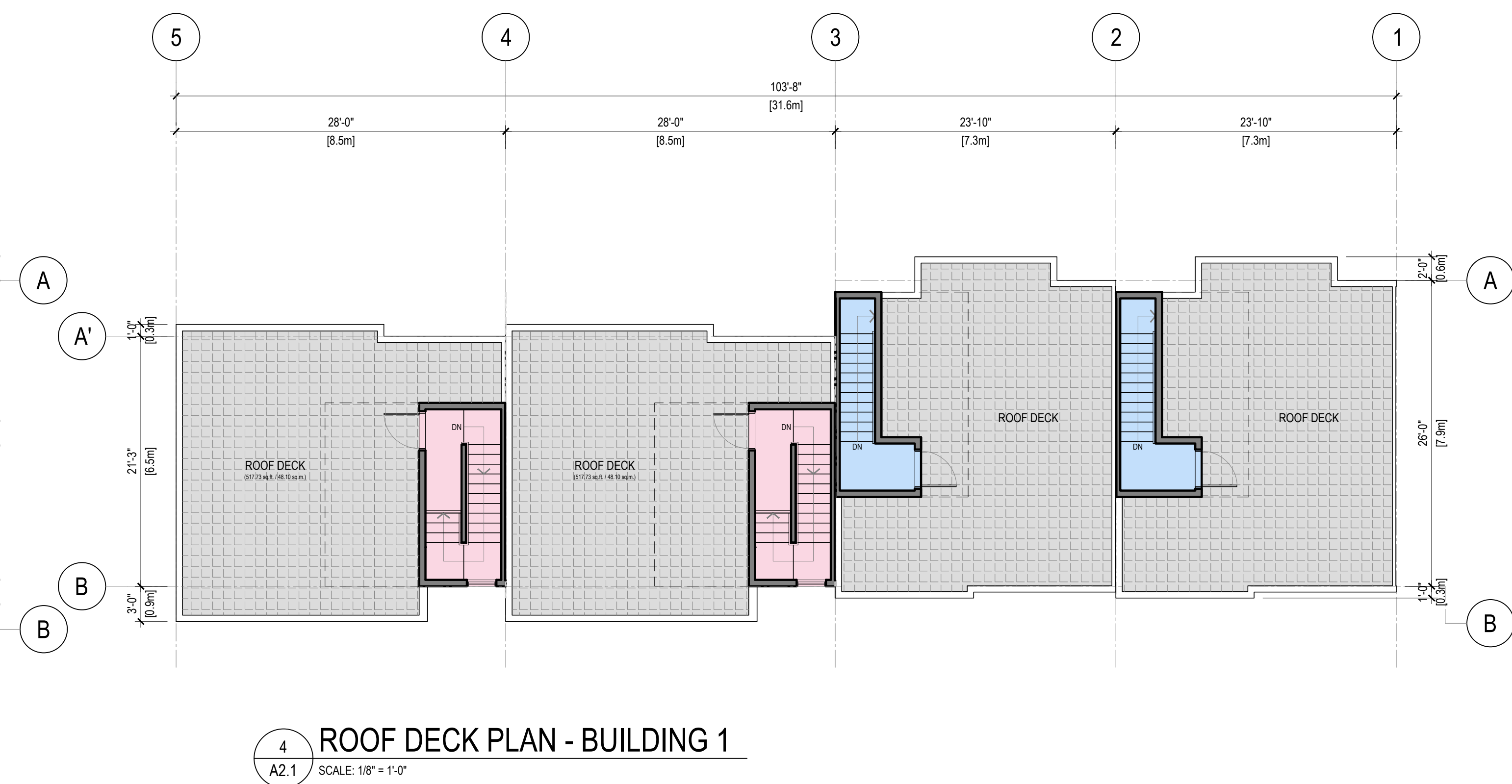
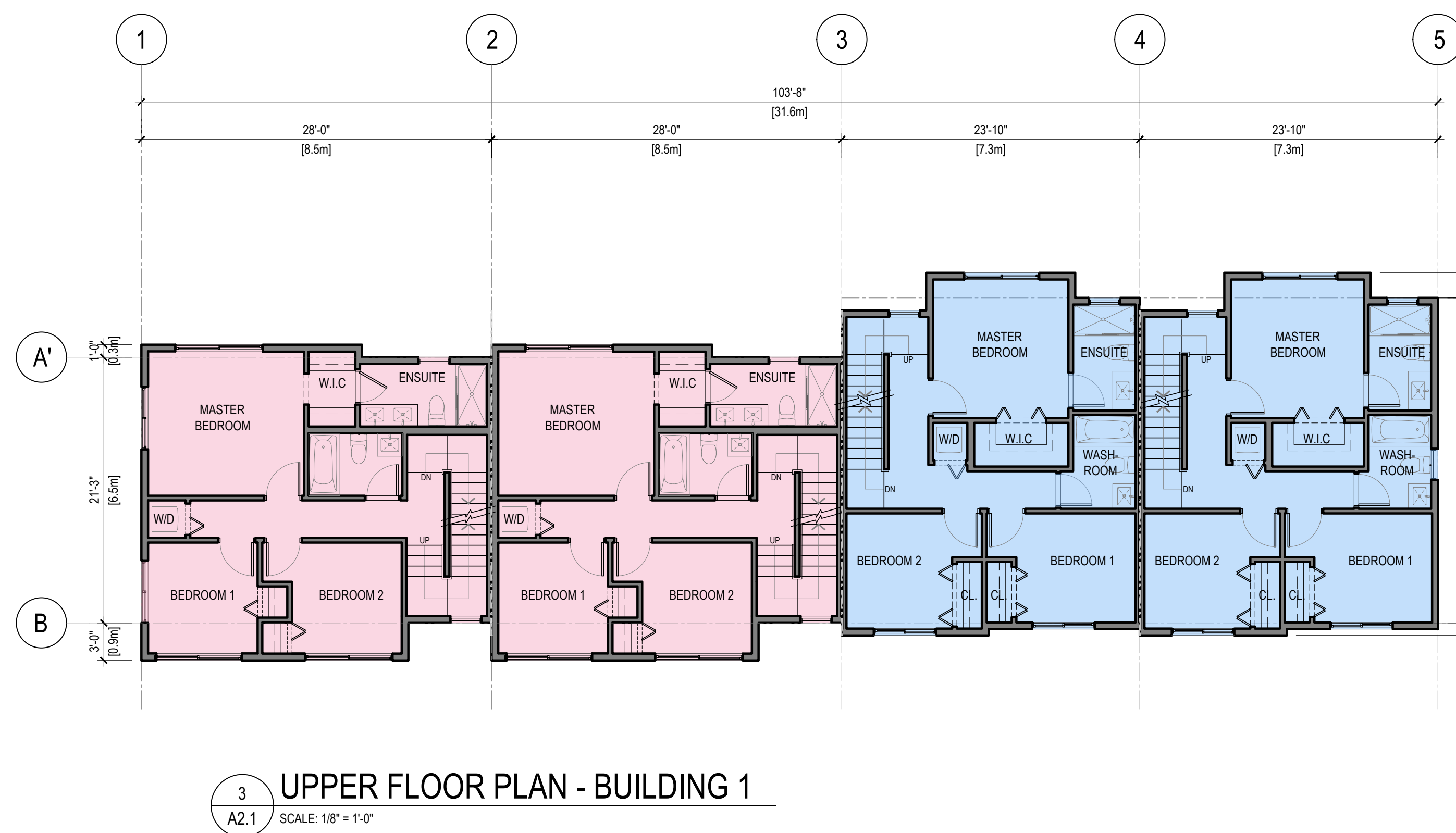
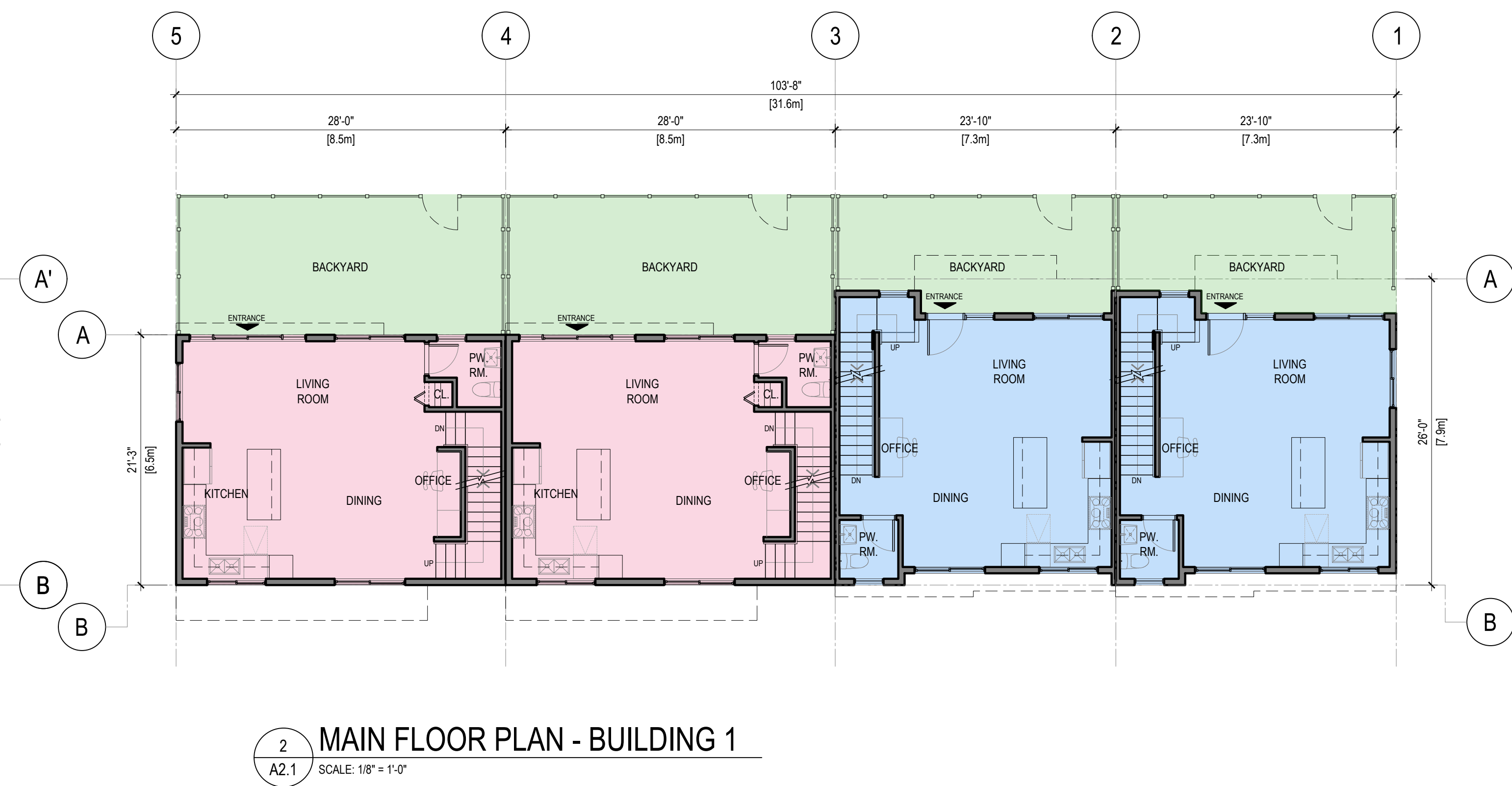
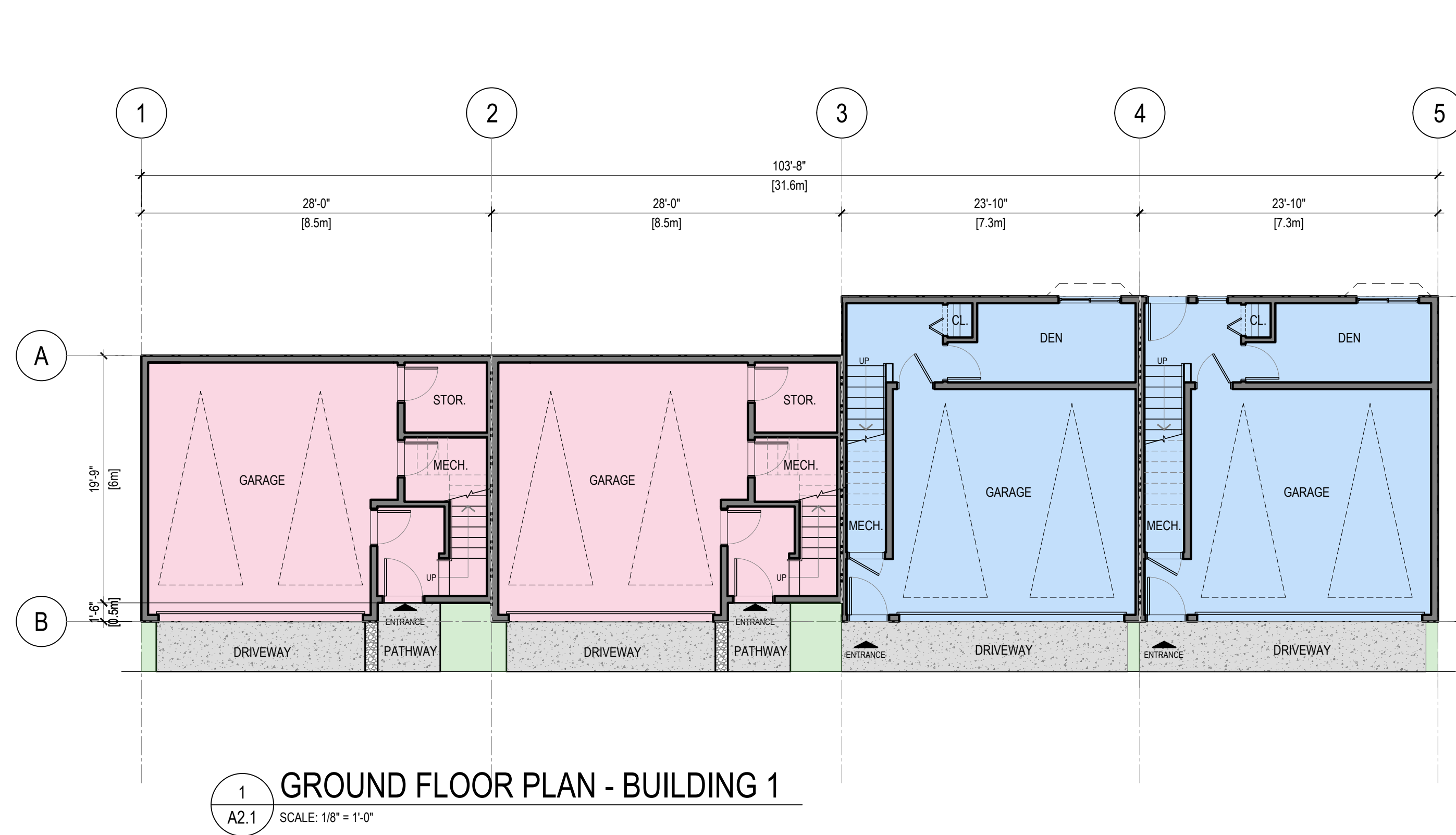
DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.
THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

PROJECT:
MULTI-FAMILY RESIDENTIAL DEVELOPMENT

5926 SHOAL WAY
SECHELT, BC V0N 3A6

SHEET TITLE:

PROJECT STATISTICS	
SCALE	REVISION
N/A	1
DRAWING NO.	PROJECT NO.
A1.2	22-2020



REV	DATE	DESCRIPTION	DR	RV
0	MAY 17 24	ISSUED FOR REZONING APPLICATION	VD	JH/R

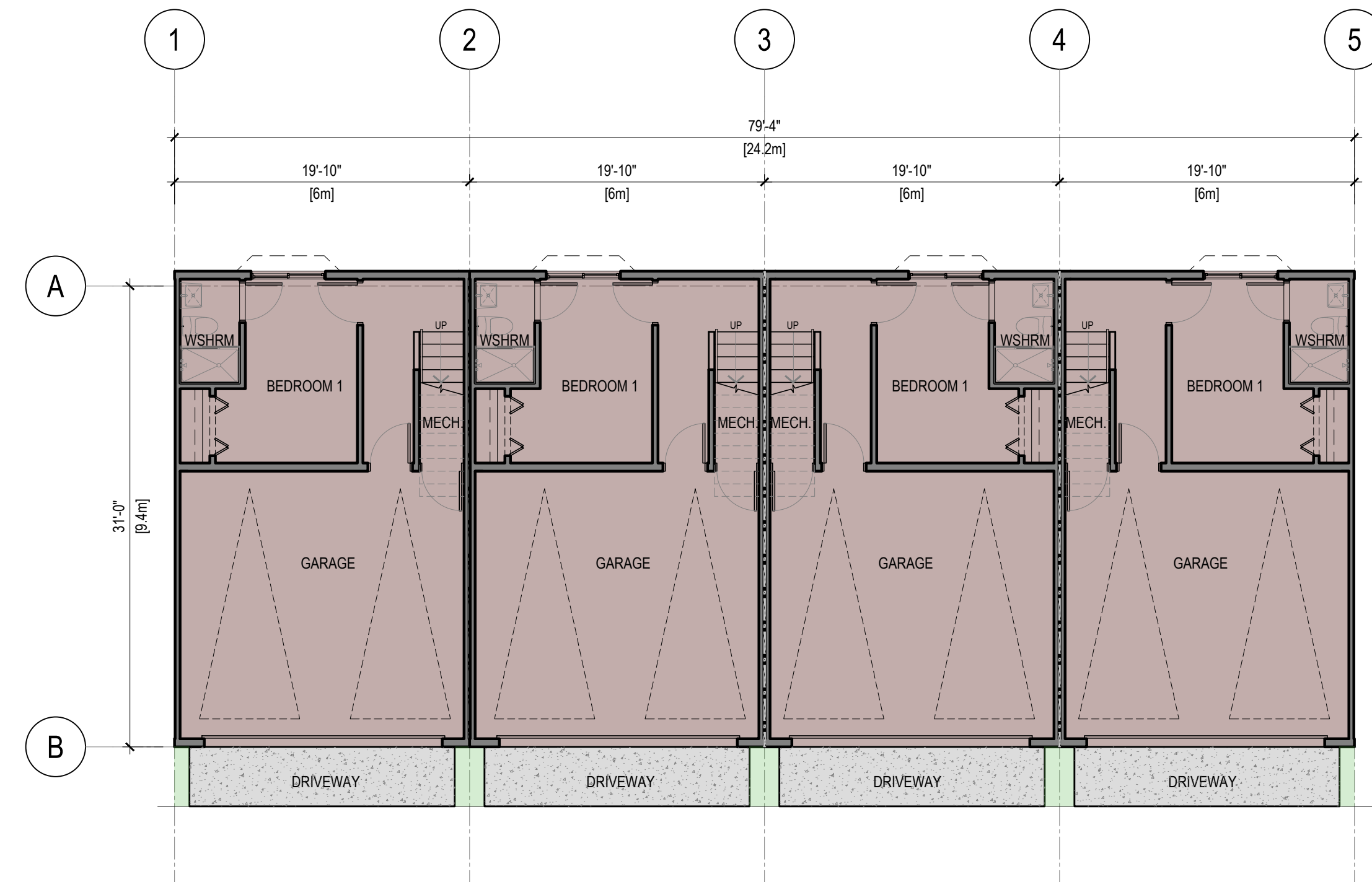
DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

PROJECT: MULTI-FAMILY RESIDENTIAL DEVELOPMENT
5926 SHOAL WAY
SECHELT, BC V3N 3A6

**BUILDING 1
FLOOR PLAN**

SCALE	REVISION
1/8" = 1'-0"	
DRAWING NO.	PROJECT NO.
A2.1	22-2020



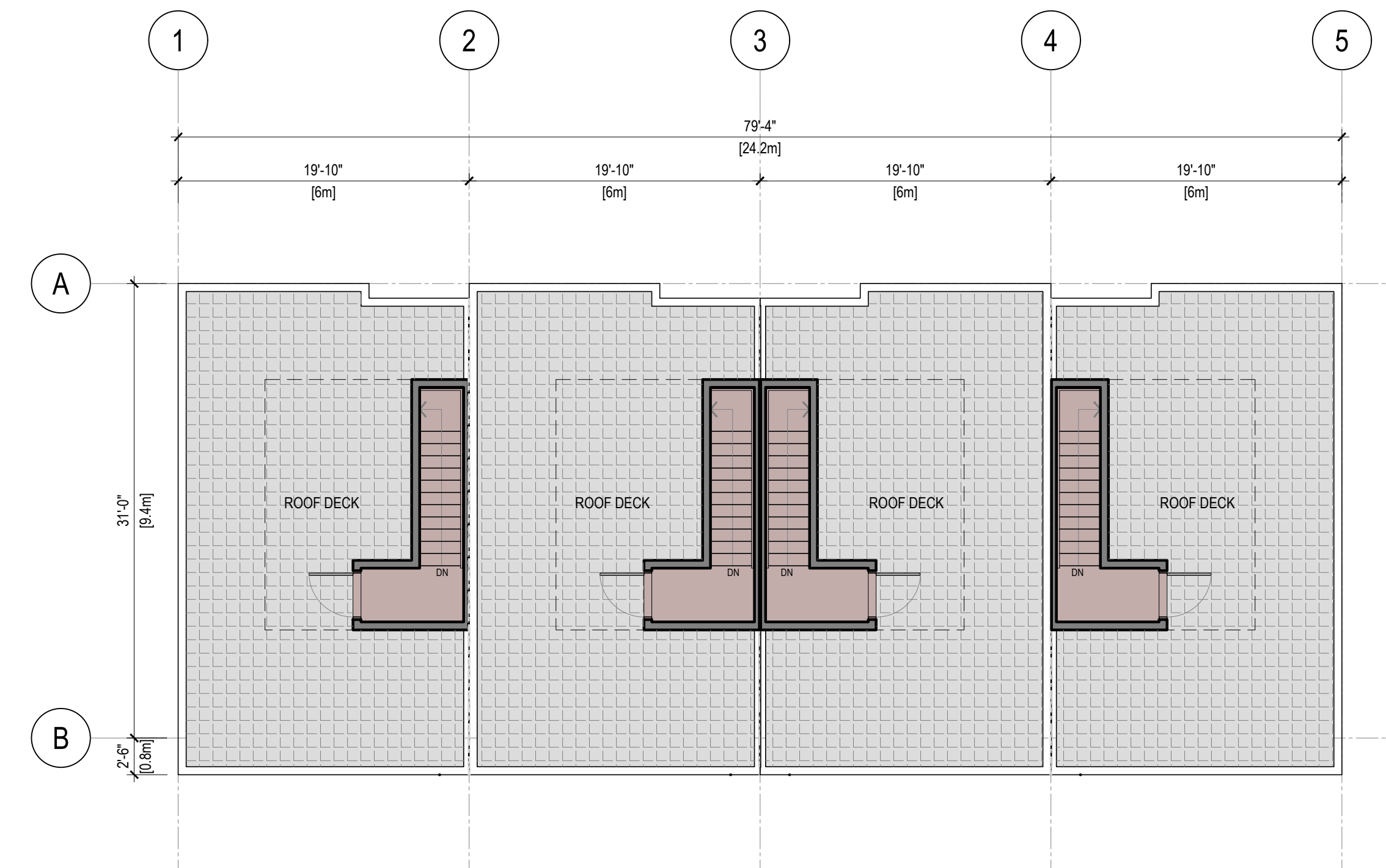
1 GROUND FLOOR PLAN - BUILDING 2&3
A2.2 SCALE: 1/8" = 1'-0"



2 MAIN FLOOR PLAN - BUILDING 2&3
A2.2 SCALE: 1/8" = 1'-0"



3 UPPER FLOOR PLAN - BUILDING 2&3
A2.2 SCALE: 1/8" = 1'-0"



4 ROOF DECK PLAN - BUILDING 2&3
A2.2 SCALE: 1/8" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
0	MAY 17 24	ISSUED FOR REZONING APPLICATION	VD	JH/R

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

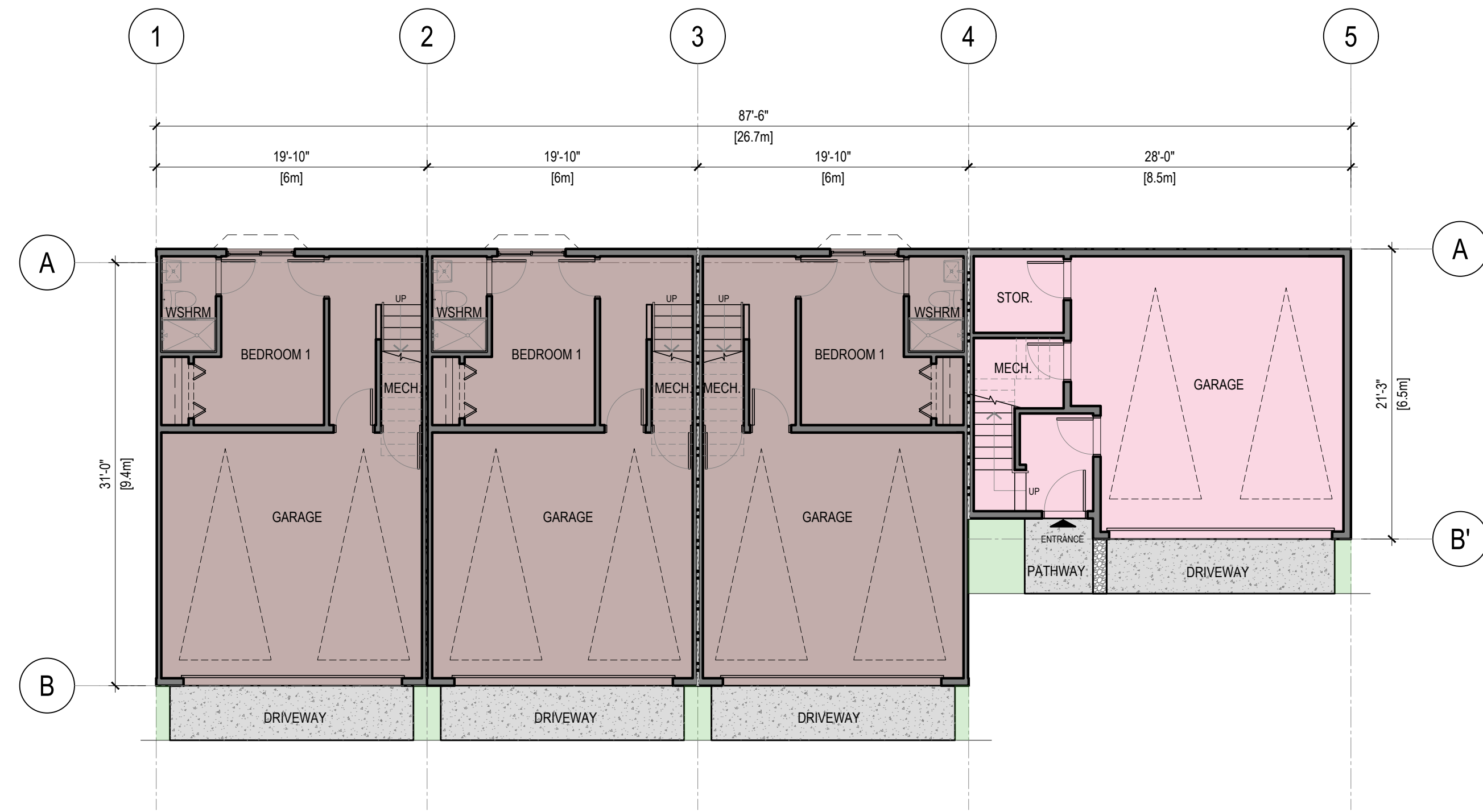
THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

PROJECT:
**MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT**

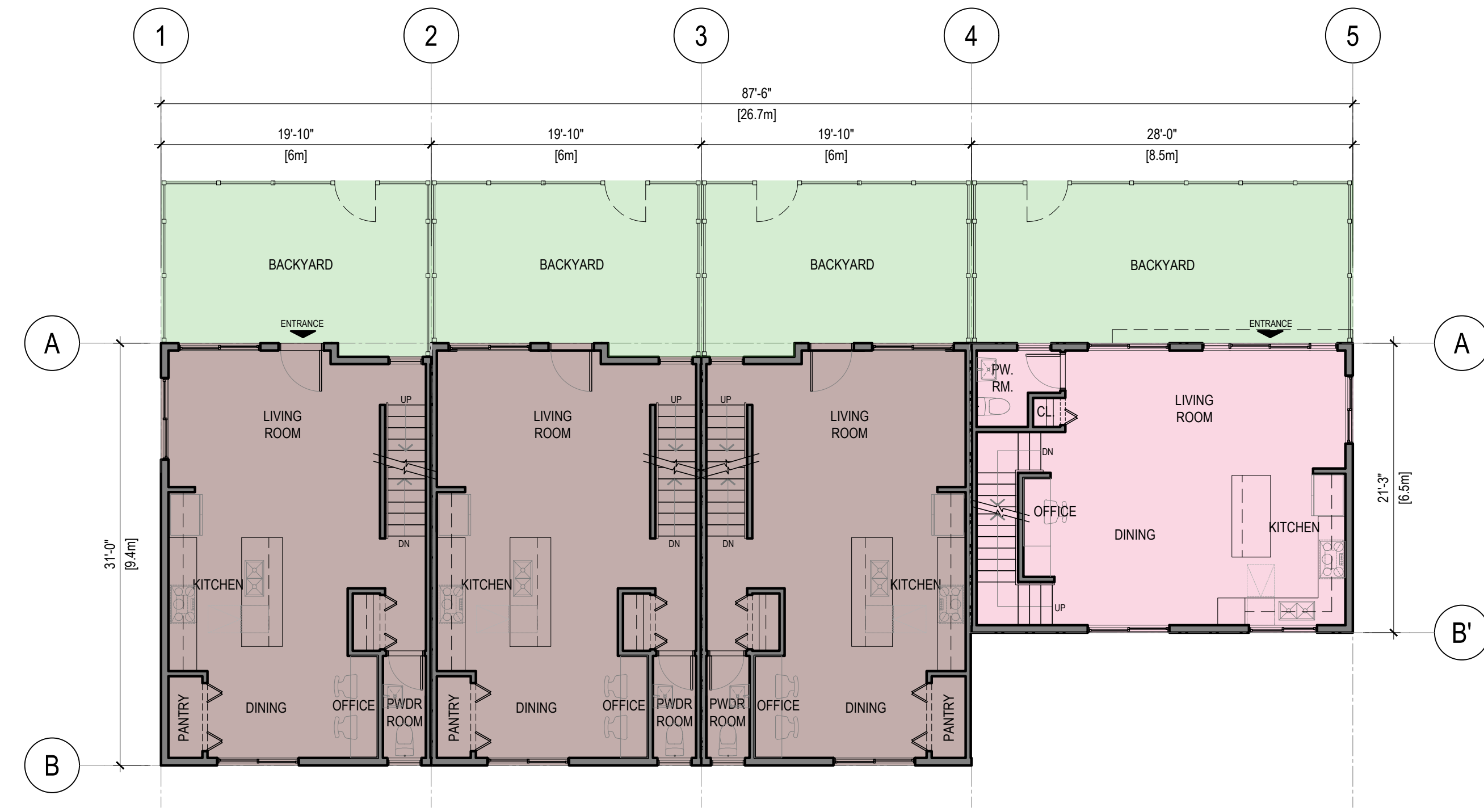
5926 SHOAL WAY
SECHELT, BC V3N 3A6

**BUILDING
2&3
FLOOR PLAN**

SCALE	REVISION
1/8" = 1'-0"	
DRAWING NO.	PROJECT NO.
A2.2	22-2020



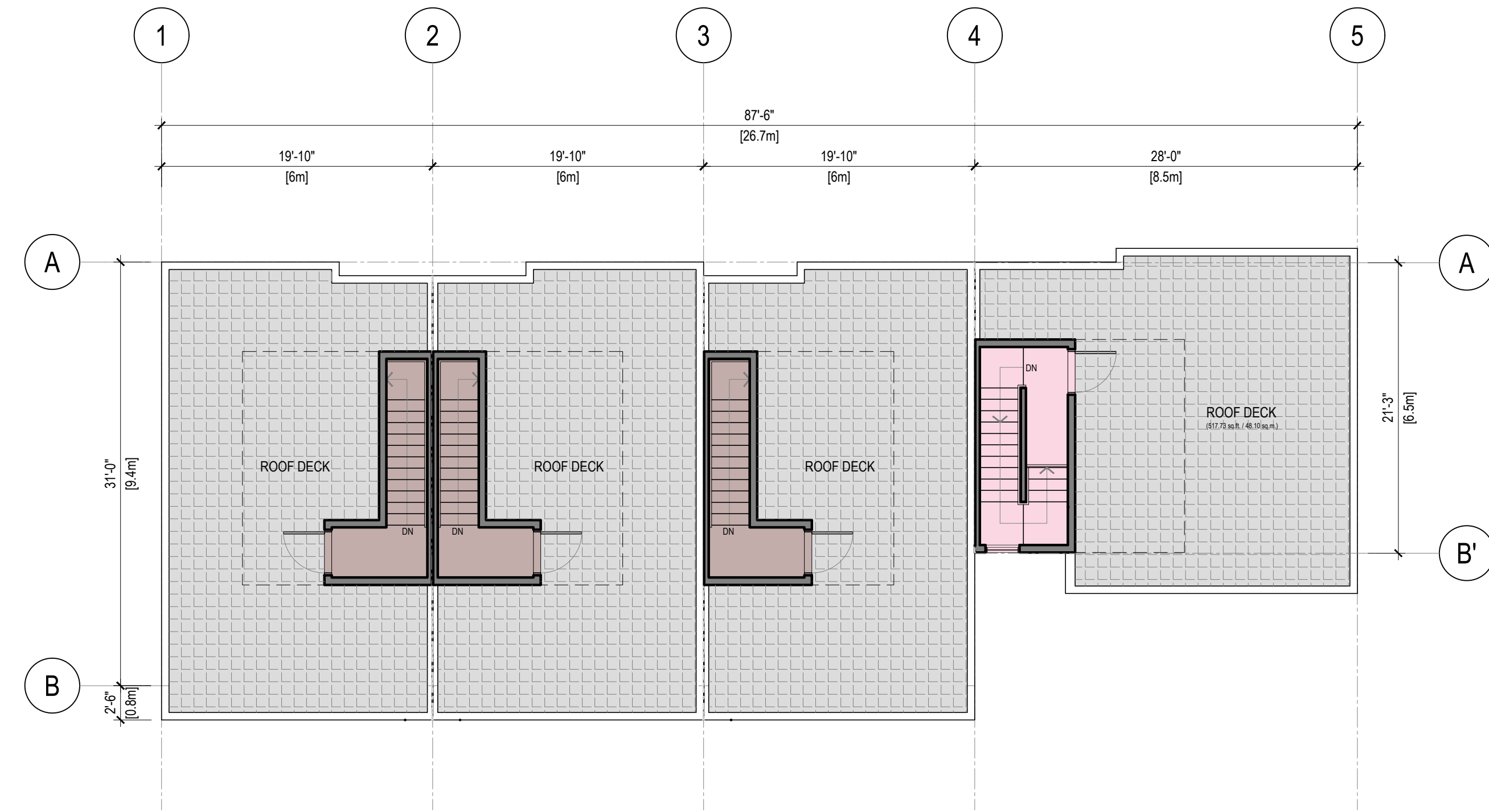
1 GROUND FLOOR PLAN - BUILDING 4
A2.3 SCALE: 1/8" = 1'-0"



2 MAIN FLOOR PLAN - BUILDING 4
A2.3 SCALE: 1/8" = 1'-0"



3 UPPER FLOOR PLAN - BUILDING 4
A2.3 SCALE: 1/8" = 1'-0"



4 ROOF DECK PLAN - BUILDING 4
A2.3 SCALE: 1/8" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
0	MAY 17 24	ISSUED FOR REZONING APPLICATION	VD	JH/R

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

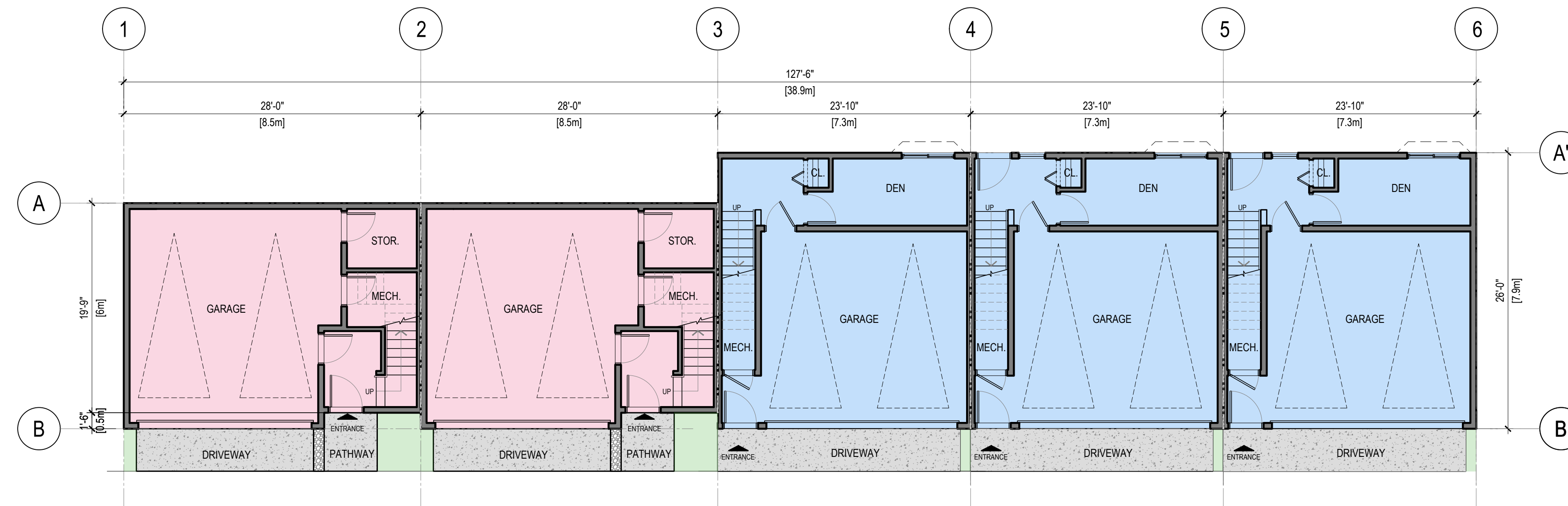
PROJECT:
**MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT**

5926 SHOAL WAY
SECHELT, BC V3N 3A6

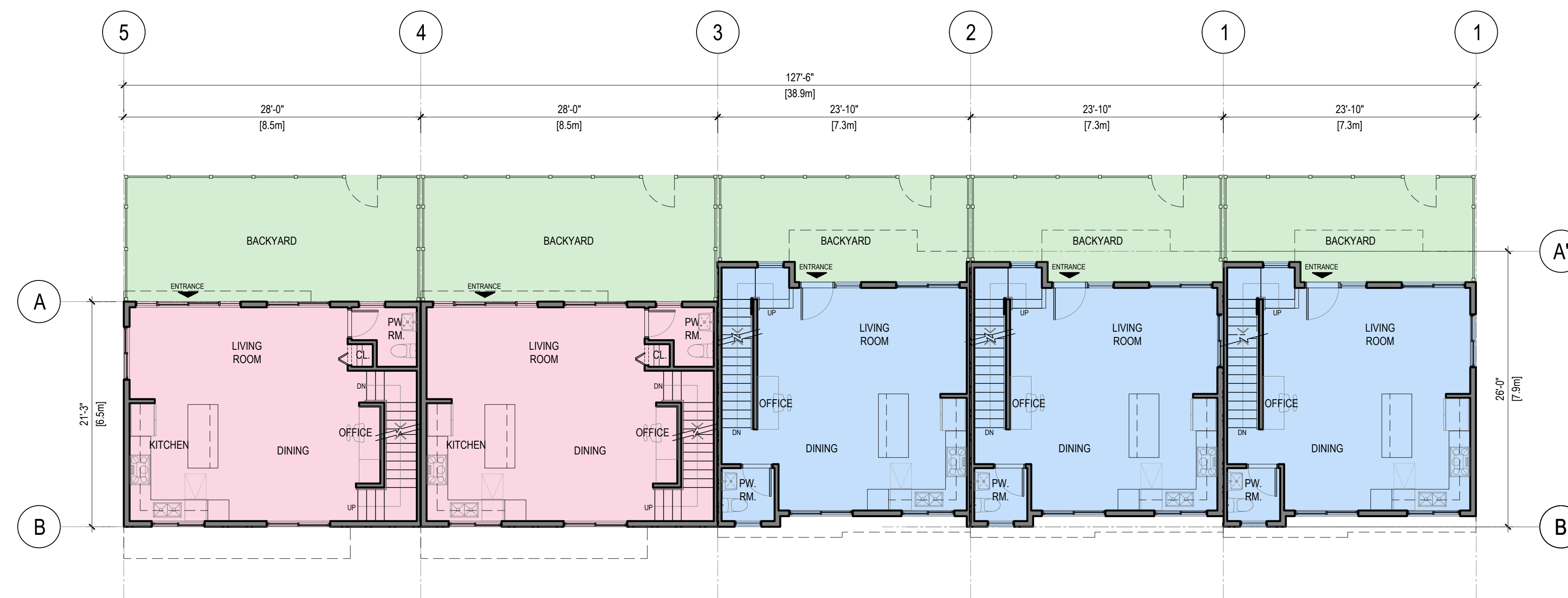
SHEET TITLE:

**BUILDING 4
FLOOR PLAN**

SCALE	REVISION
1/8" = 1'-0"	
DRAWING NO.	PROJECT NO.
A2.3	22-2020



1 GROUND FLOOR PLAN - BUILDING 5
A2.4 SCALE: 1/8" = 1'-0"



2 MAIN FLOOR PLAN - BUILDING 5
A2.4 SCALE: 1/8" = 1'-0"

0 MAY 17 24 ISSUED FOR REZONING APPLICATION VD JNHR

REV DATE DESCRIPTION DR RV

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

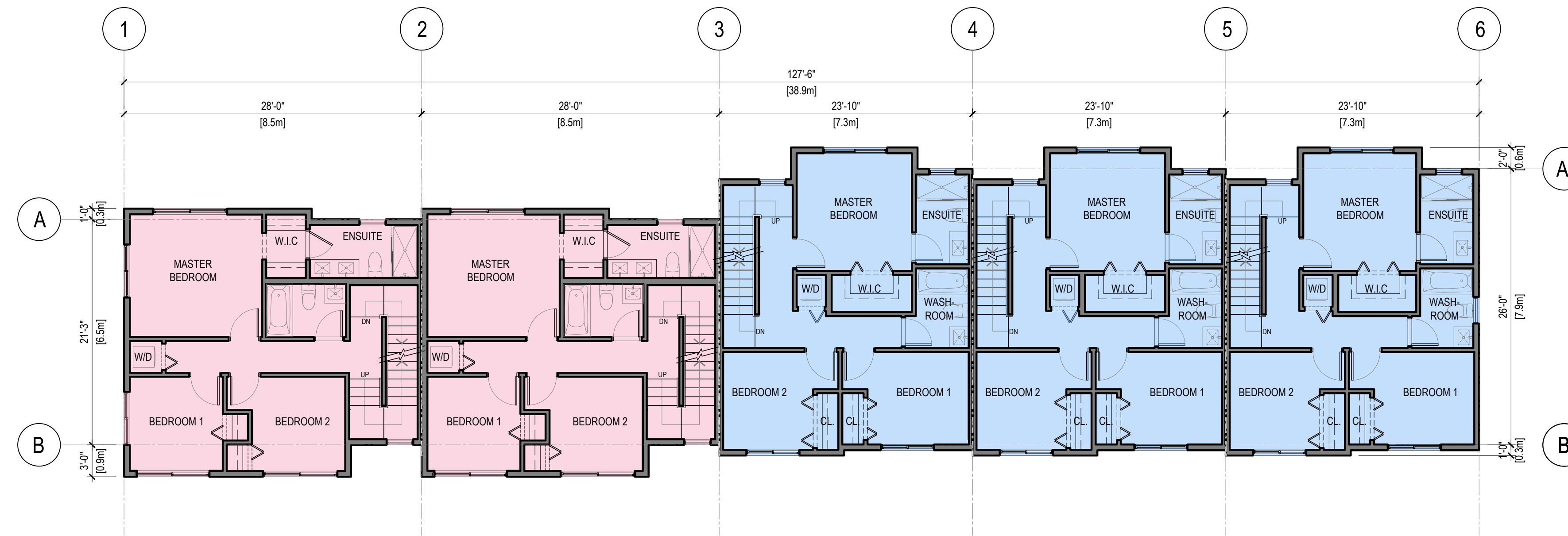
THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

PROJECT:
**MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT**

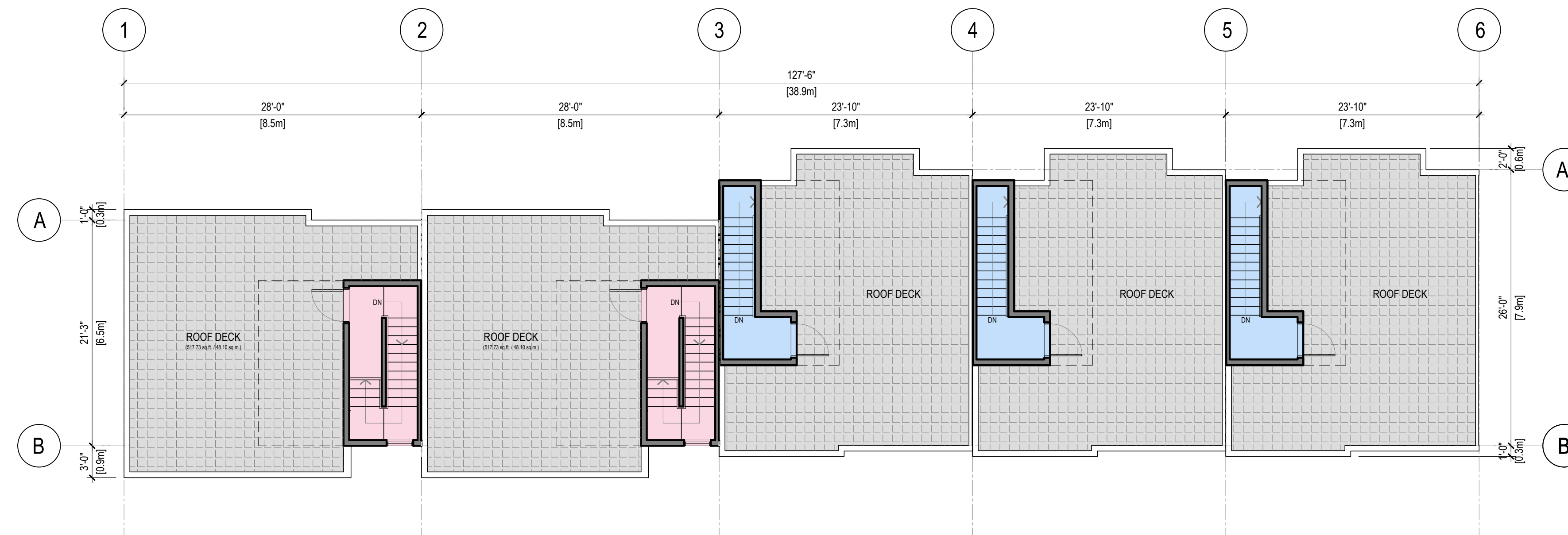
5926 SHOAL WAY
SECHELT, BC V0N 3A6

SHEET TITLE:
**BUILDING 5
FLOOR PLAN**

SCALE 1/8" = 1'-0"	REVISION
DRAWING NO. A2.4	PROJECT NO. 22-2020



1 UPPER FLOOR PLAN - BUILDING 5
SCALE: 1/8" = 1'-0"



2 ROOF DECK PLAN - BUILDING 5
SCALE: 1/8" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
0	MAY 17 24	ISSUED FOR REZONING APPLICATION	VD	JHHR

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

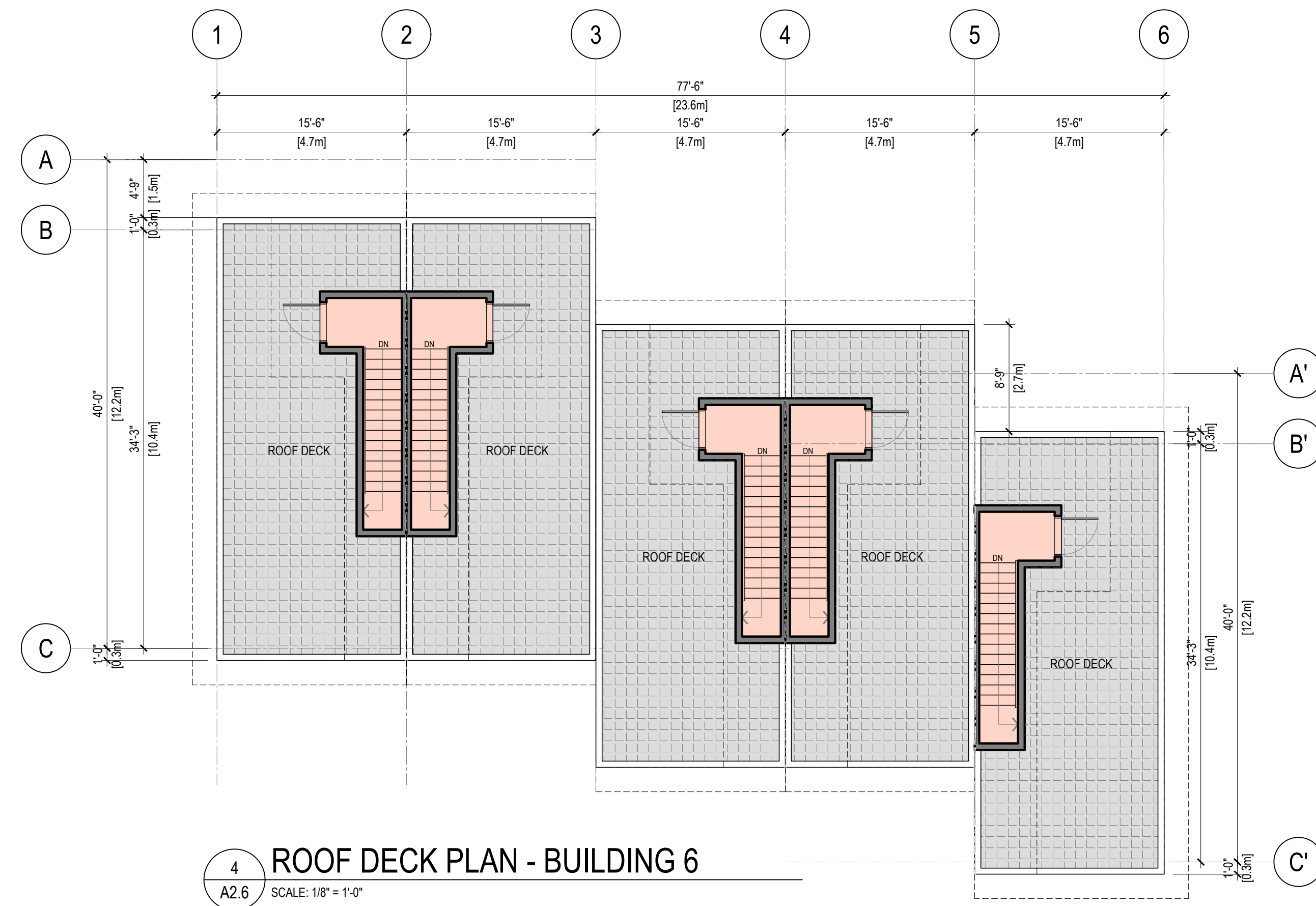
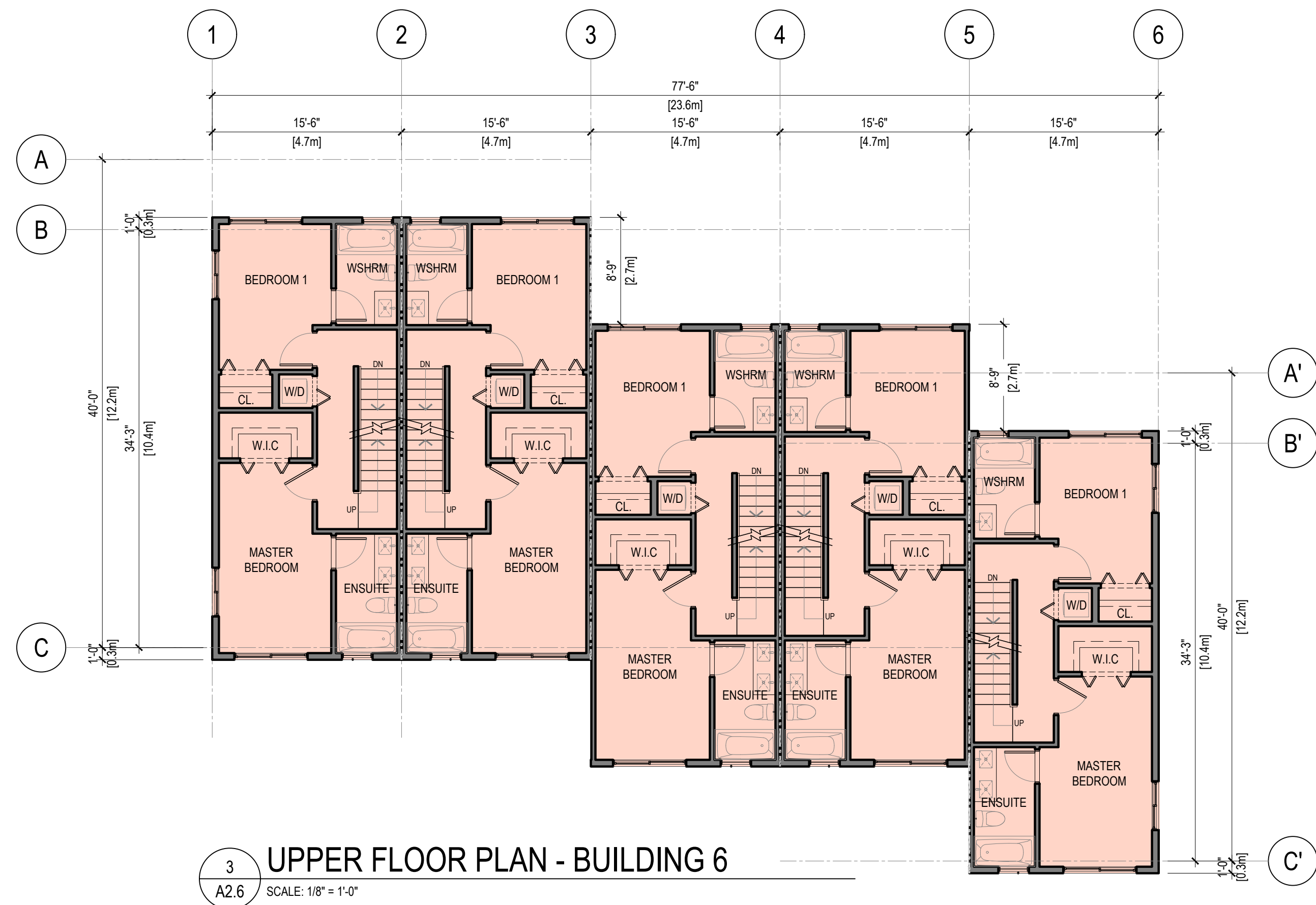
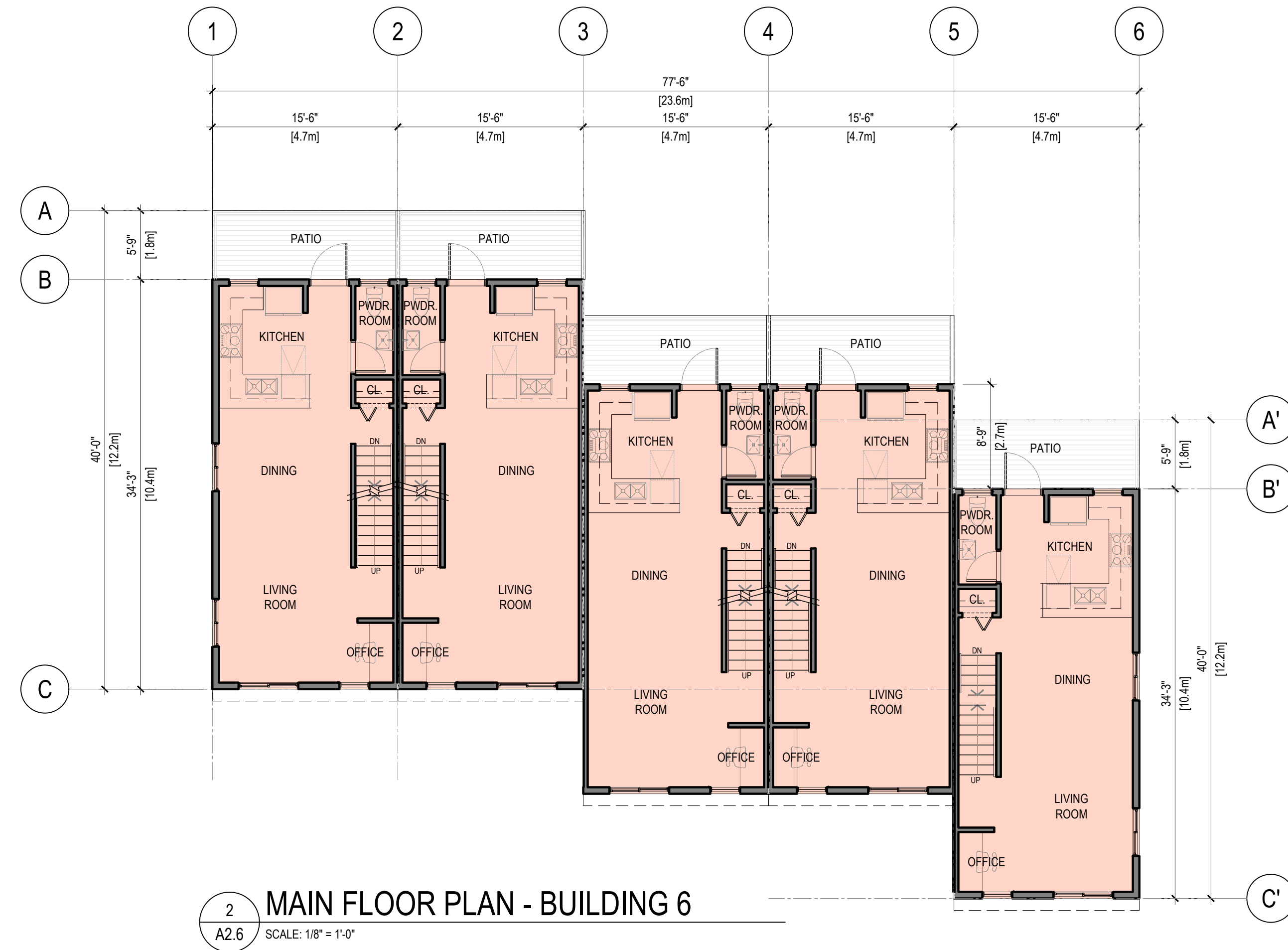
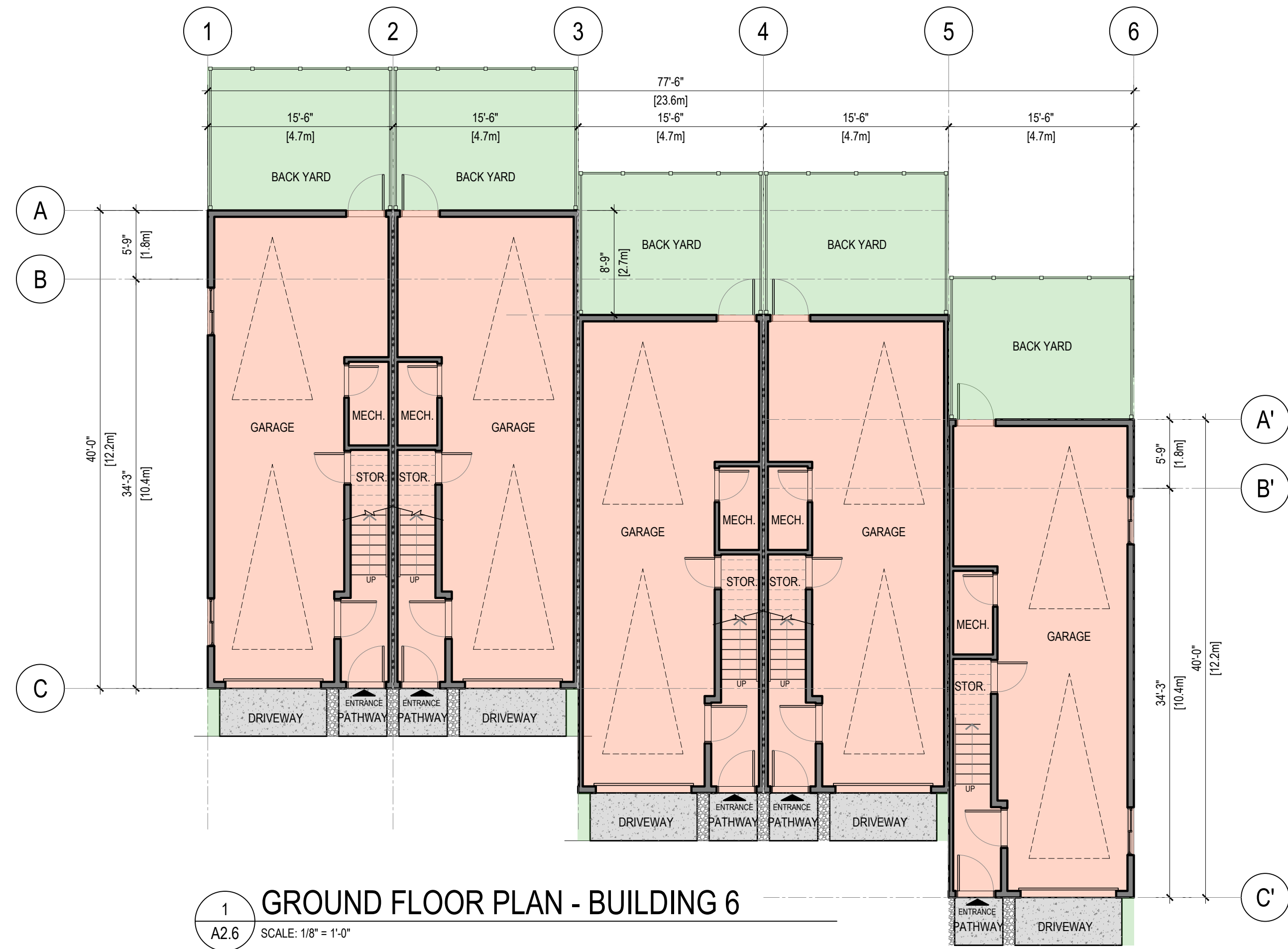
THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

PROJECT:
**MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT**

5926 SHOAL WAY
SECHELT, BC V0N 3A6

SHEET TITLE:
**BUILDING 5
FLOOR PLAN**

SCALE	REVISION
1/8" = 1'-0"	
DRAWING NO.	PROJECT NO.
A2.5	22-2020



REV	DATE	DESCRIPTION	DR	RV
0	MAY.17.24	ISSUED FOR REZONING APPLICATION	VD	JHHR

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

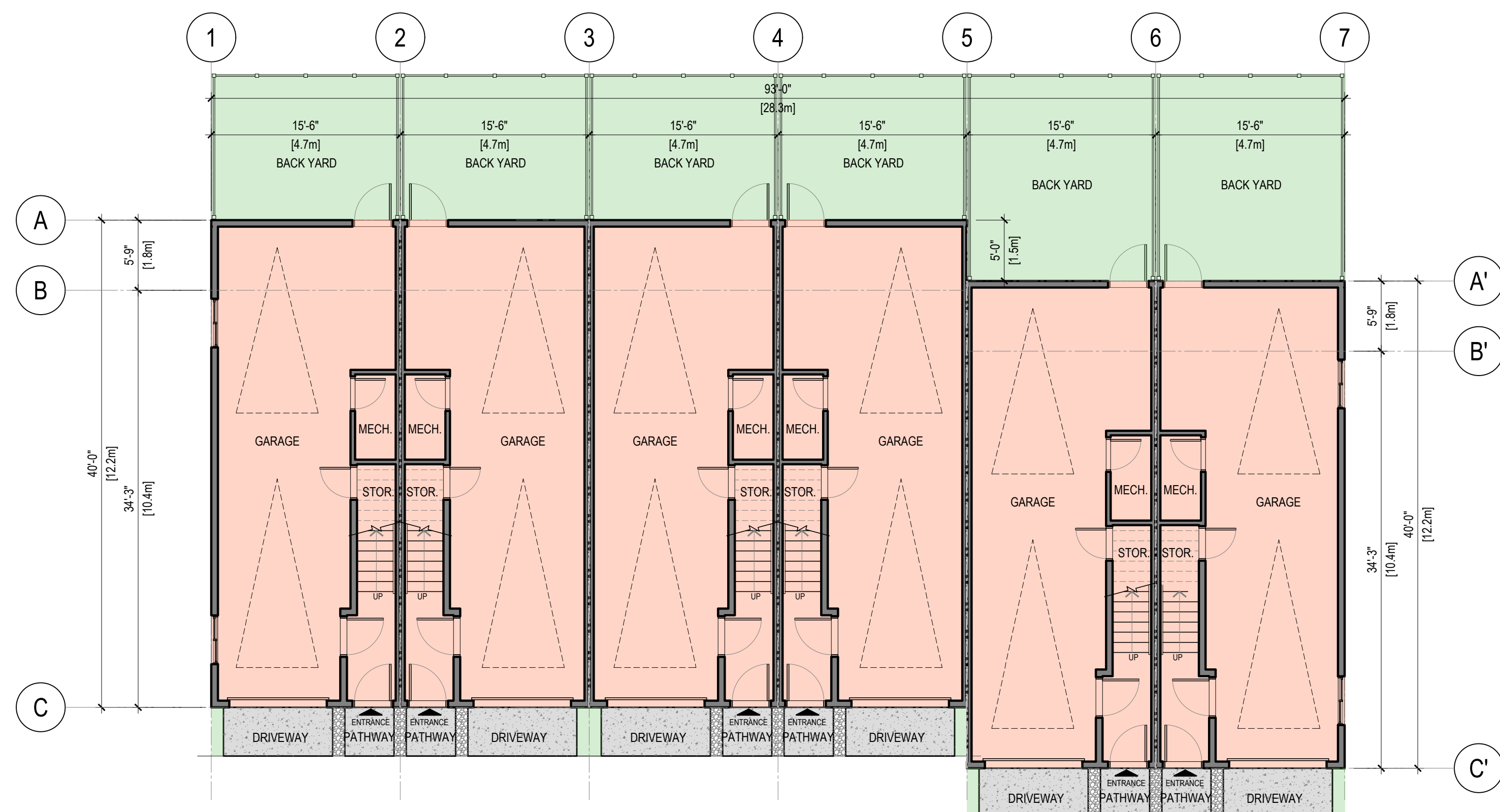
THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

PROJECT:
**MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT**

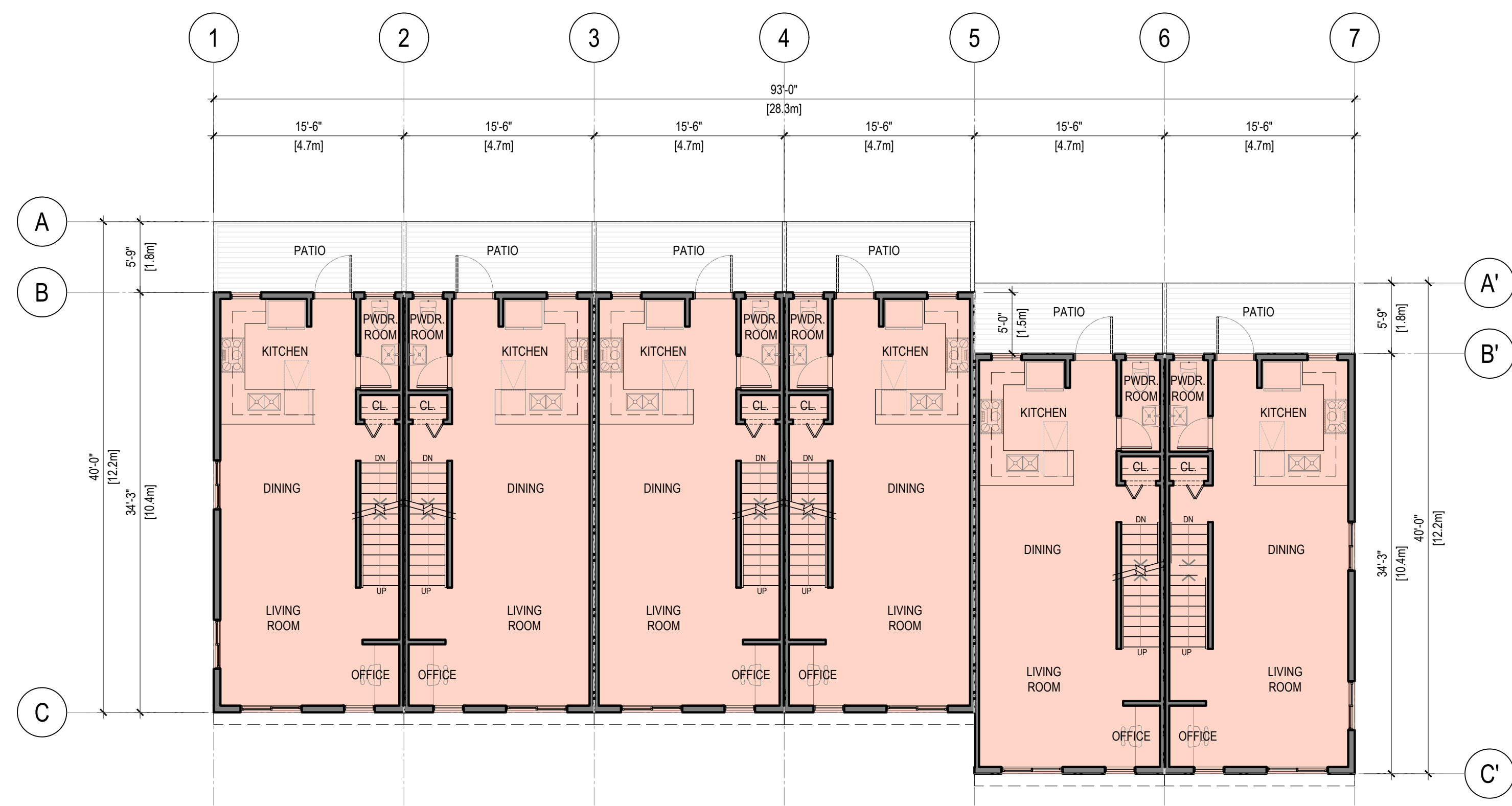
5926 SHOAL WAY
SECHULT, BC V0N 3A6

SHEET TITLE:
**BUILDING 6
FLOOR PLAN**

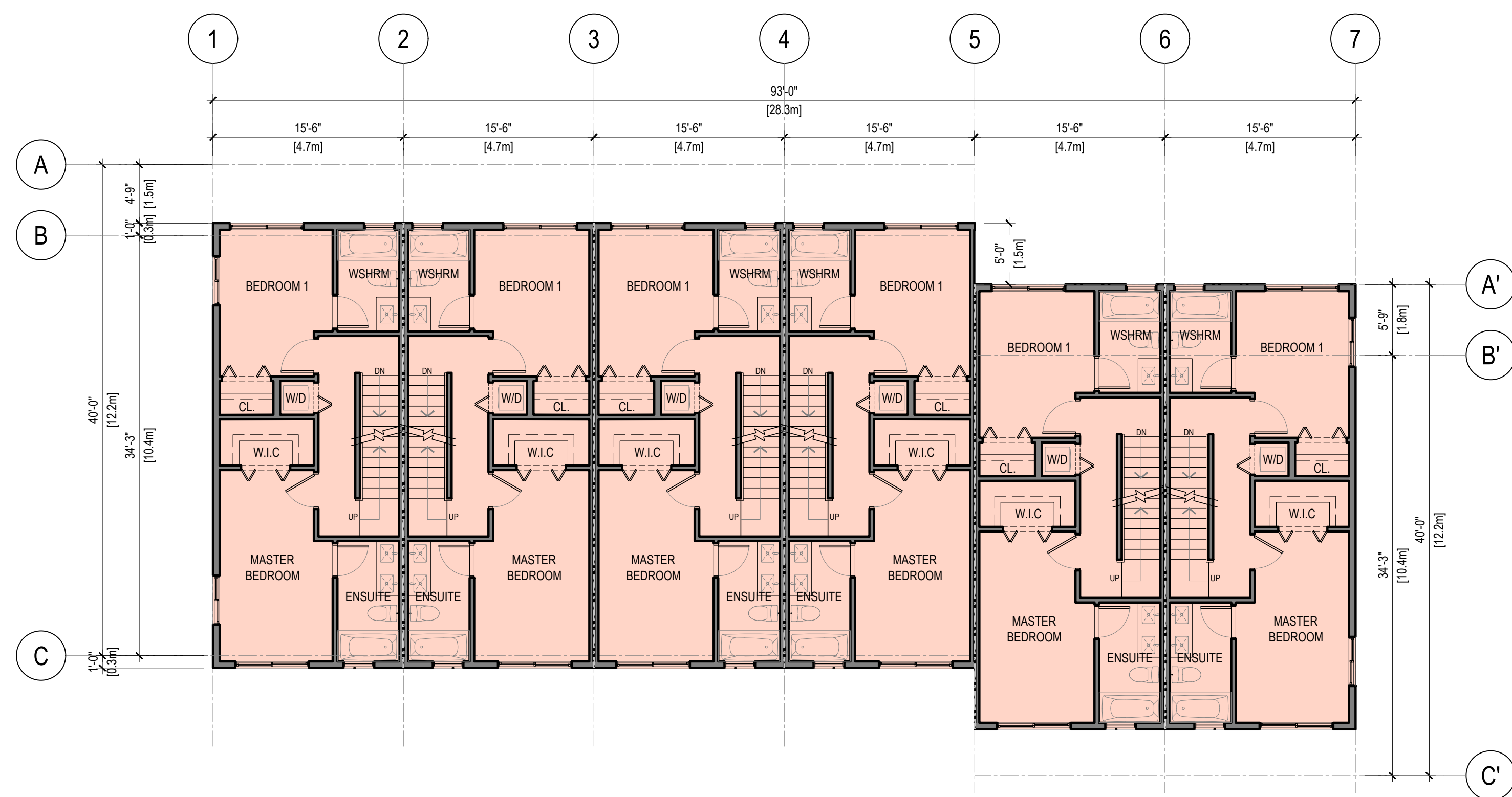
SCALE	REVISION
1/8" = 1'-0"	
DRAWING NO.	PROJECT NO.
A2.6	22-2020



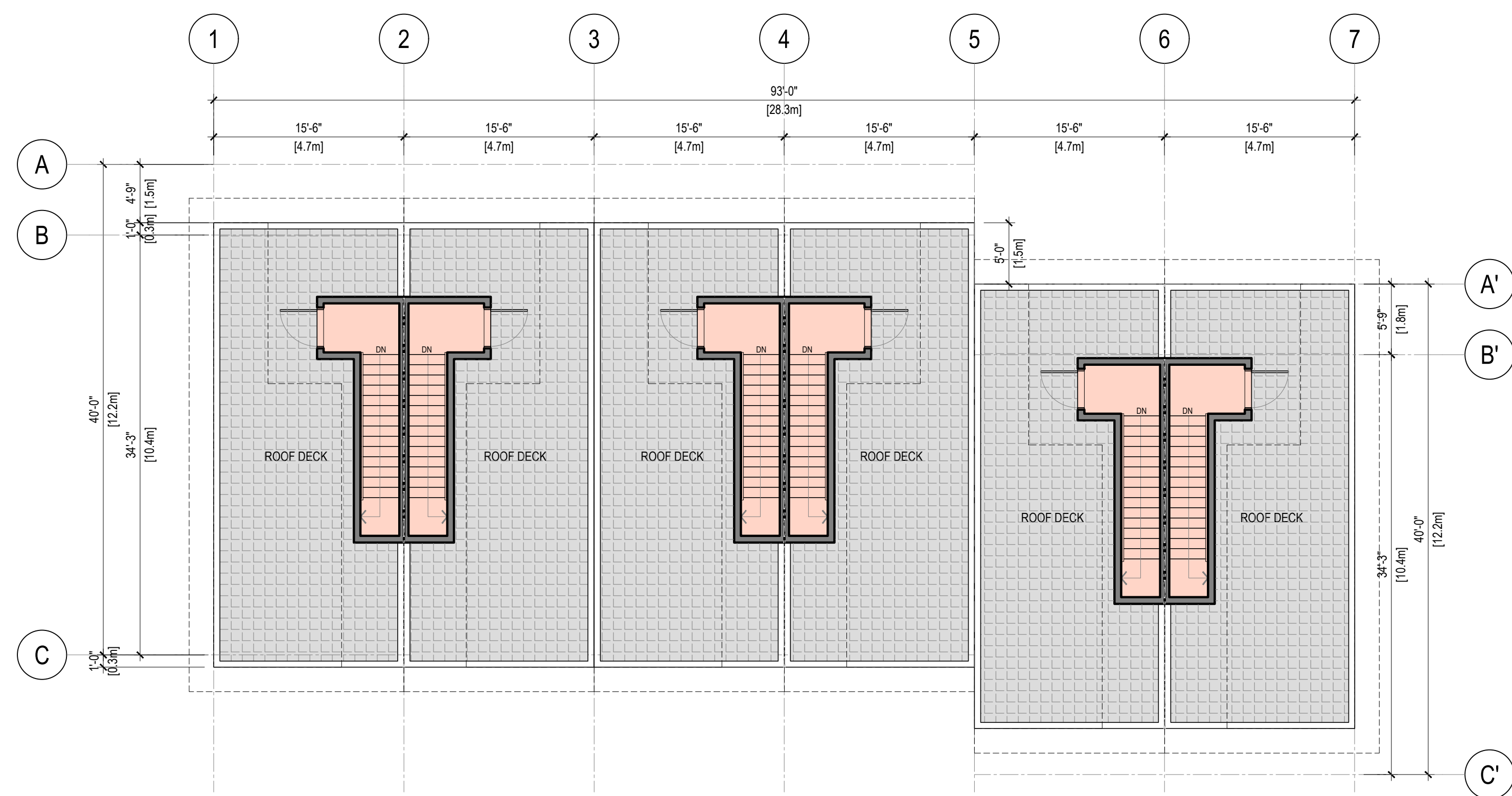
1 GROUND FLOOR PLAN - BUILDING 7 & 8
A2.7 SCALE: 1/8" = 1'-0"



2 MAIN FLOOR PLAN - BUILDING 7 & 8
A2.7 SCALE: 1/8" = 1'-0"



3 UPPER FLOOR PLAN - BUILDING 7 & 8
A2.7 SCALE: 1/8" = 1'-0"



4 ROOF DECK PLAN - BUILDING 7 & 8
A2.7 SCALE: 1/8" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
0	MAY 17 24	ISSUED FOR REZONING APPLICATION	VD	JH/R

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

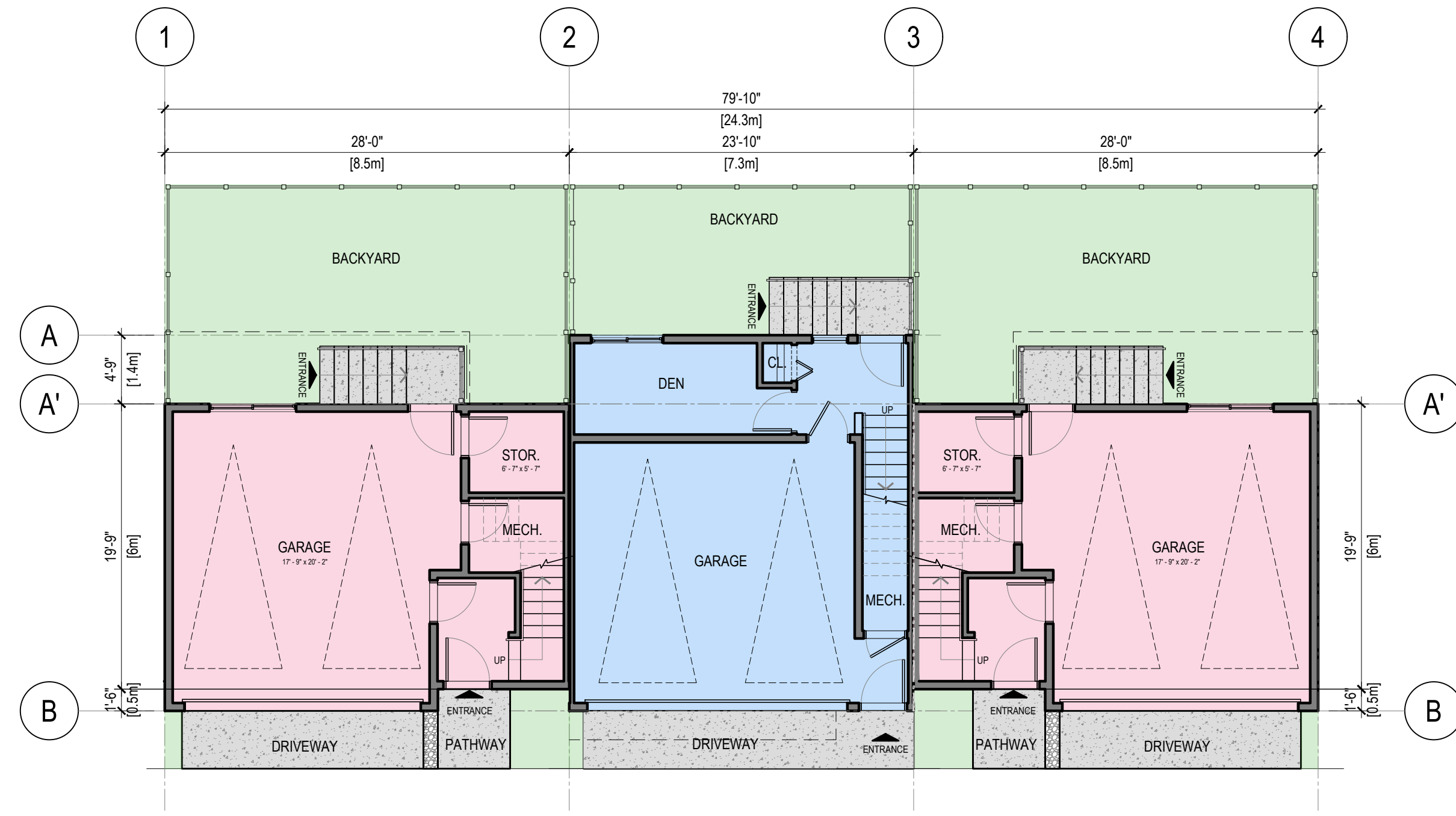
THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

PROJECT: **MULTI-FAMILY RESIDENTIAL DEVELOPMENT**

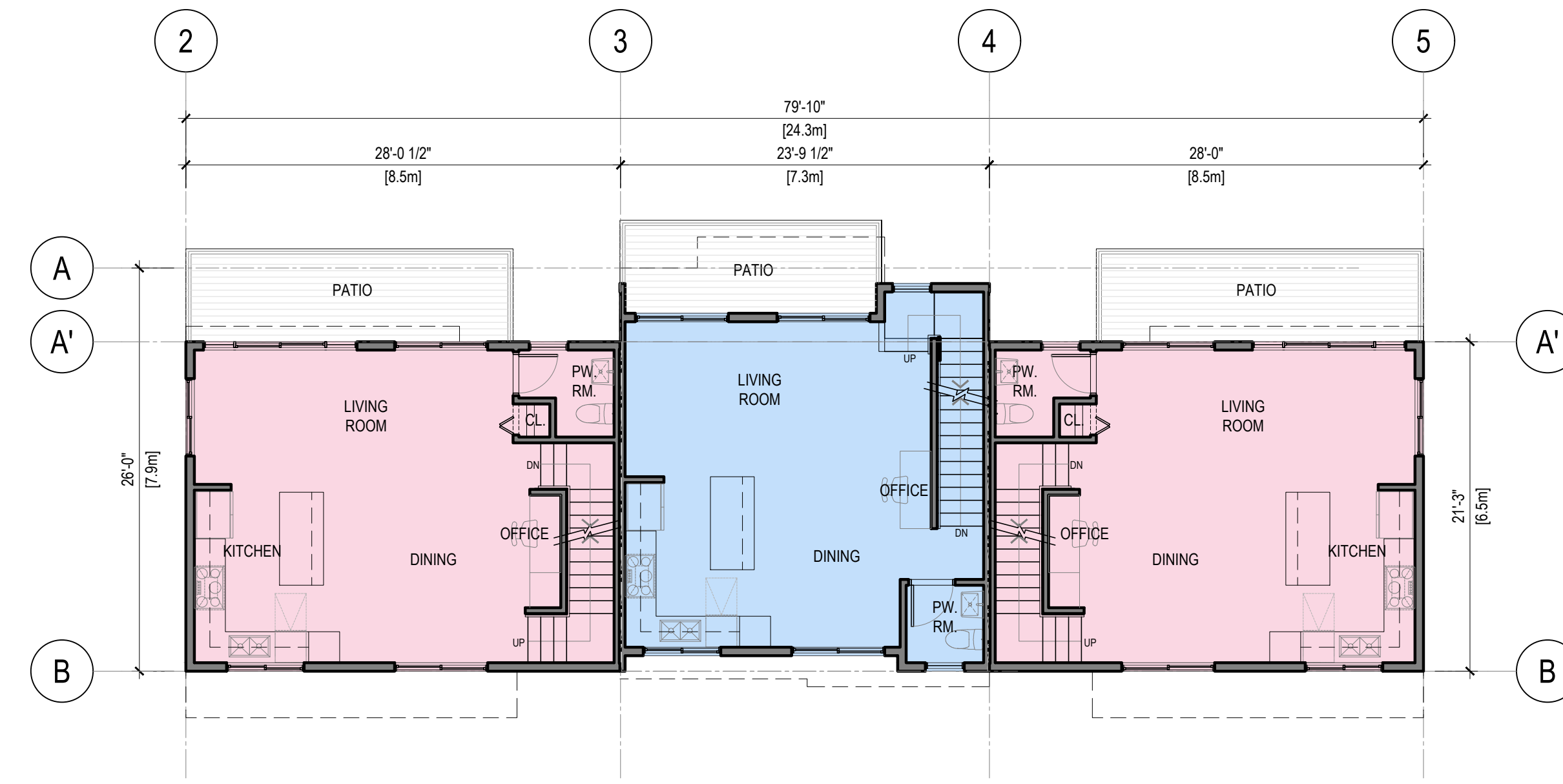
5926 SHOAL WAY
SECHELT, BC V3N 3A6

SHEET TITLE: **BUILDING 7 & 8 FLOOR PLAN**

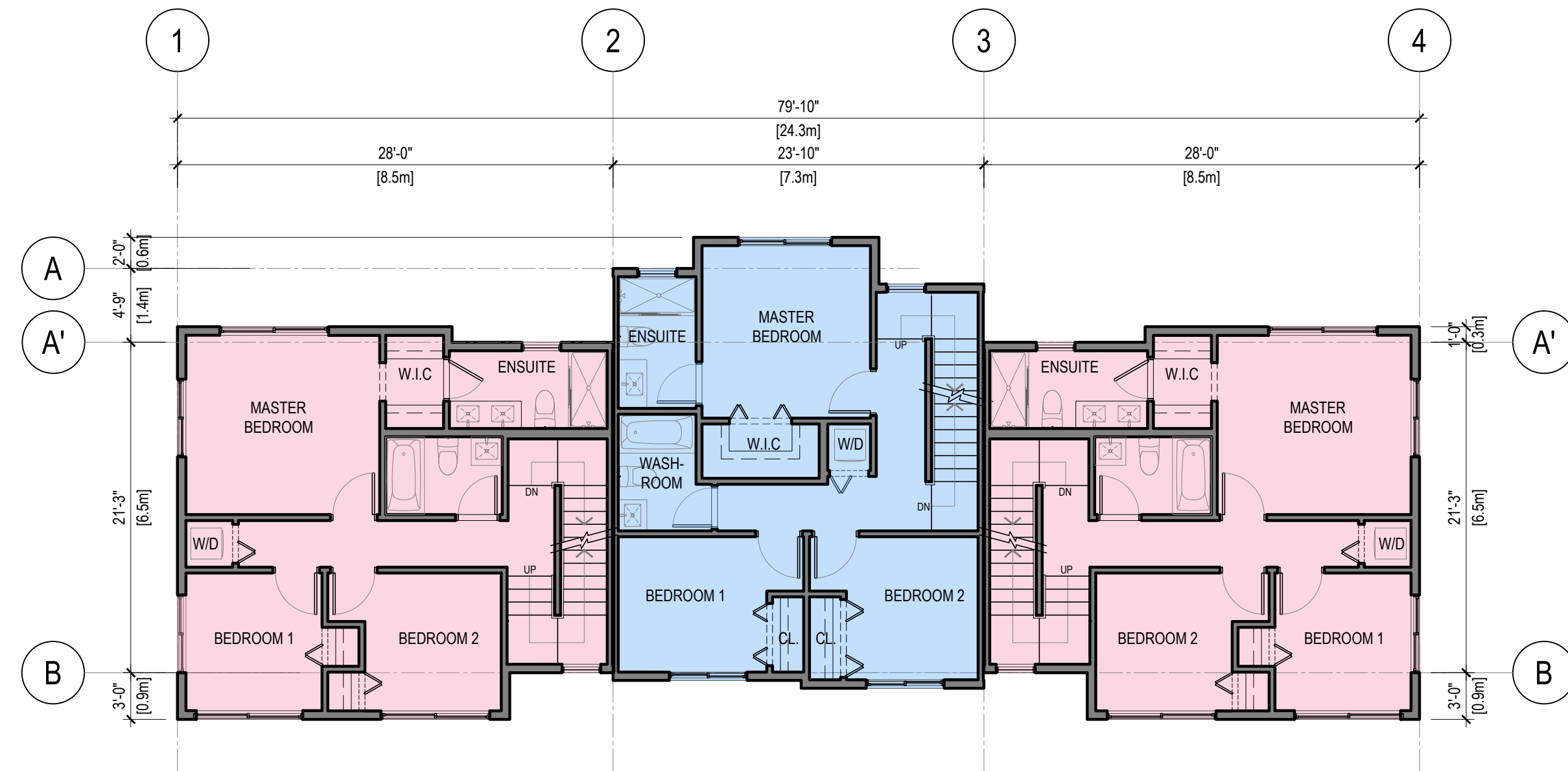
SCALE: 1/8" = 1'-0"	REVISION:
DRAWING NO: A2.7	PROJECT NO: 22-2020



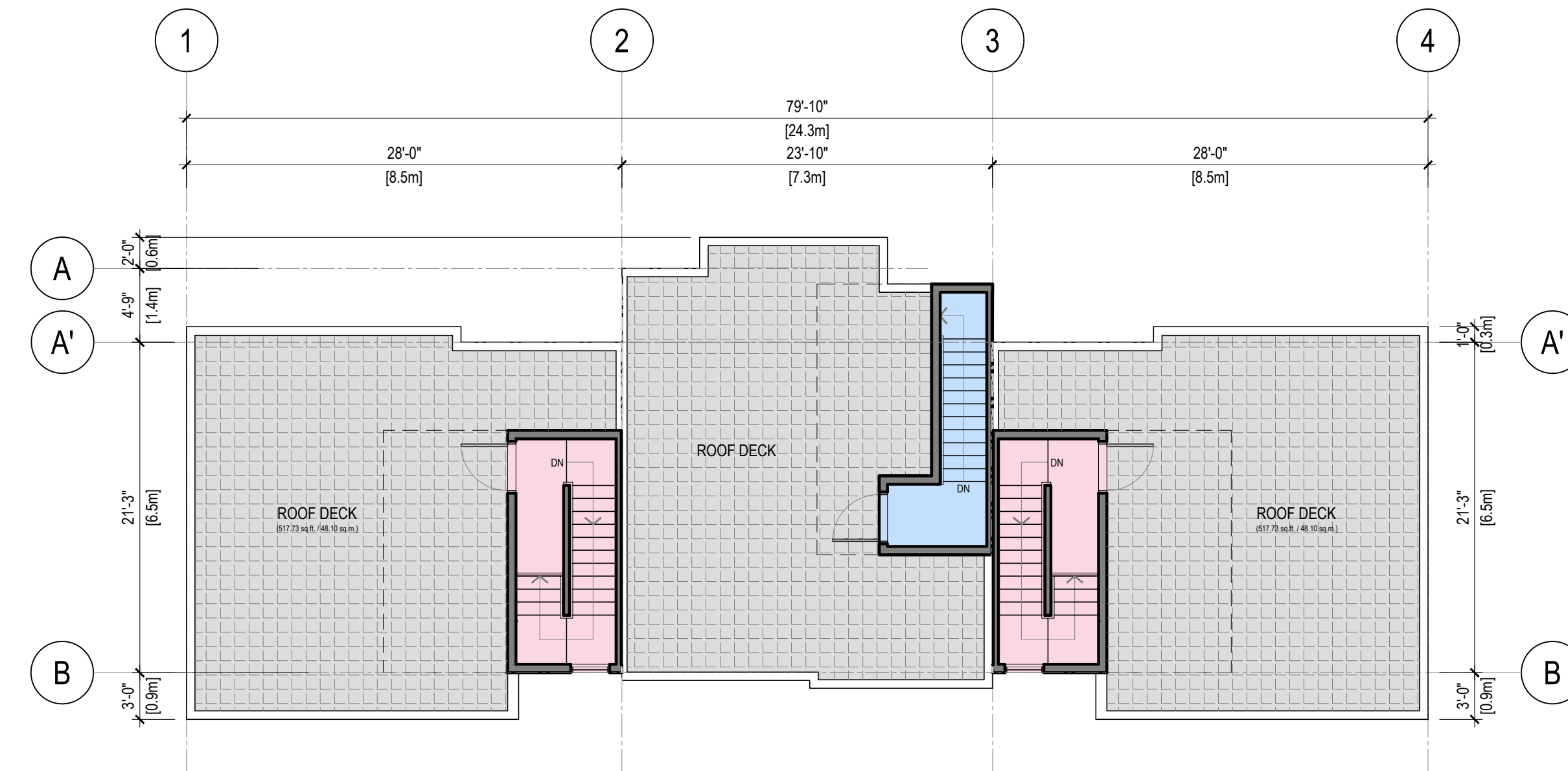
1 GROUND FLOOR PLAN - BUILDING 9
SCALE: 1/8" = 1'-0"



2 MAIN FLOOR PLAN - BUILDING 9
SCALE: 1/8" = 1'-0"



3 UPPER FLOOR PLAN - BUILDING 9
SCALE: 1/8" = 1'-0"



4 ROOF DECK PLAN - BUILDING 9
SCALE: 1/8" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
0	MAY 17 24	ISSUED FOR REZONING APPLICATION	VD	JMHR

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

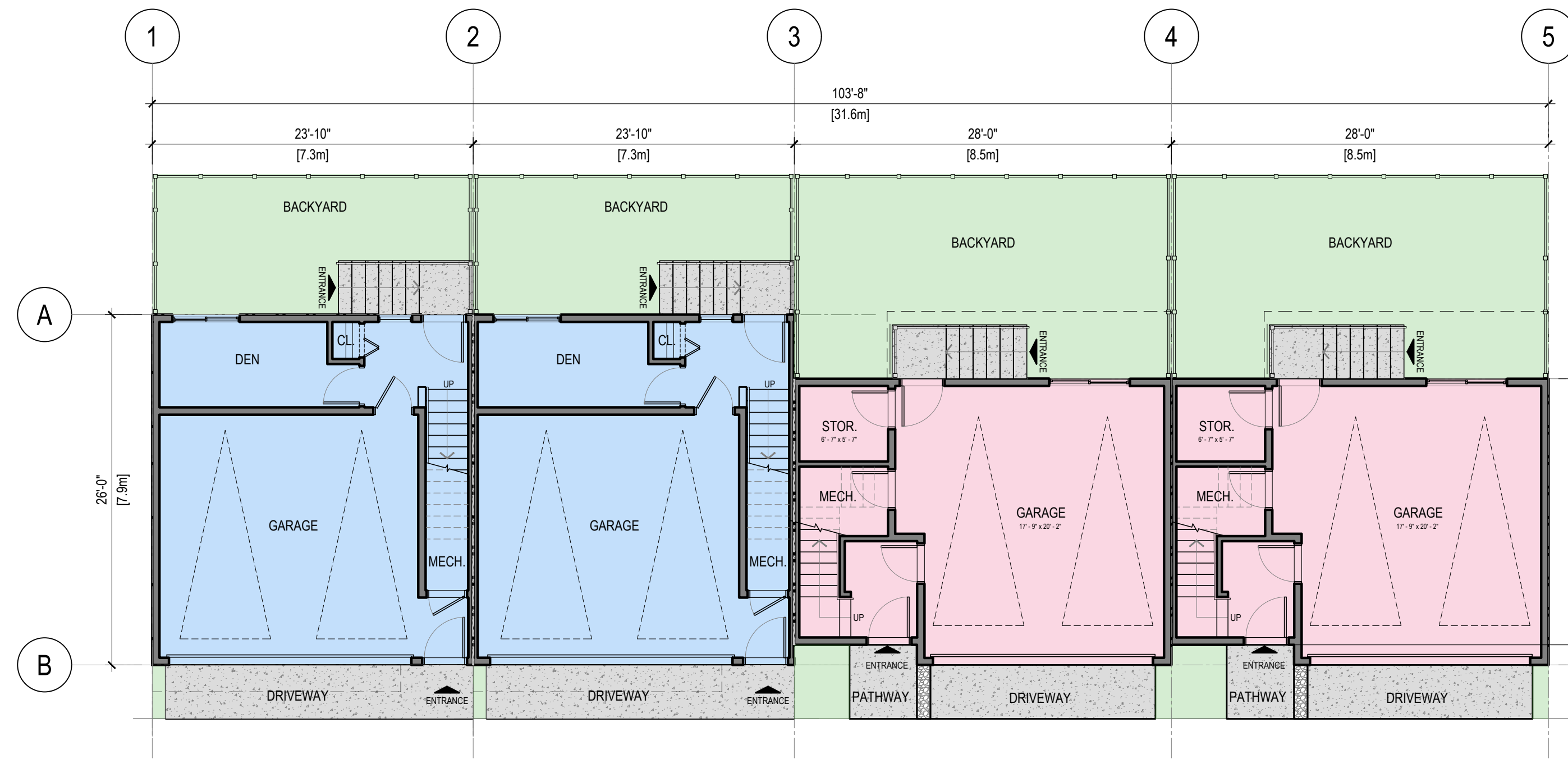
PROJECT: MULTI-FAMILY RESIDENTIAL DEVELOPMENT

5926 SHOAL WAY
SECHELT, BC V0N 3A6

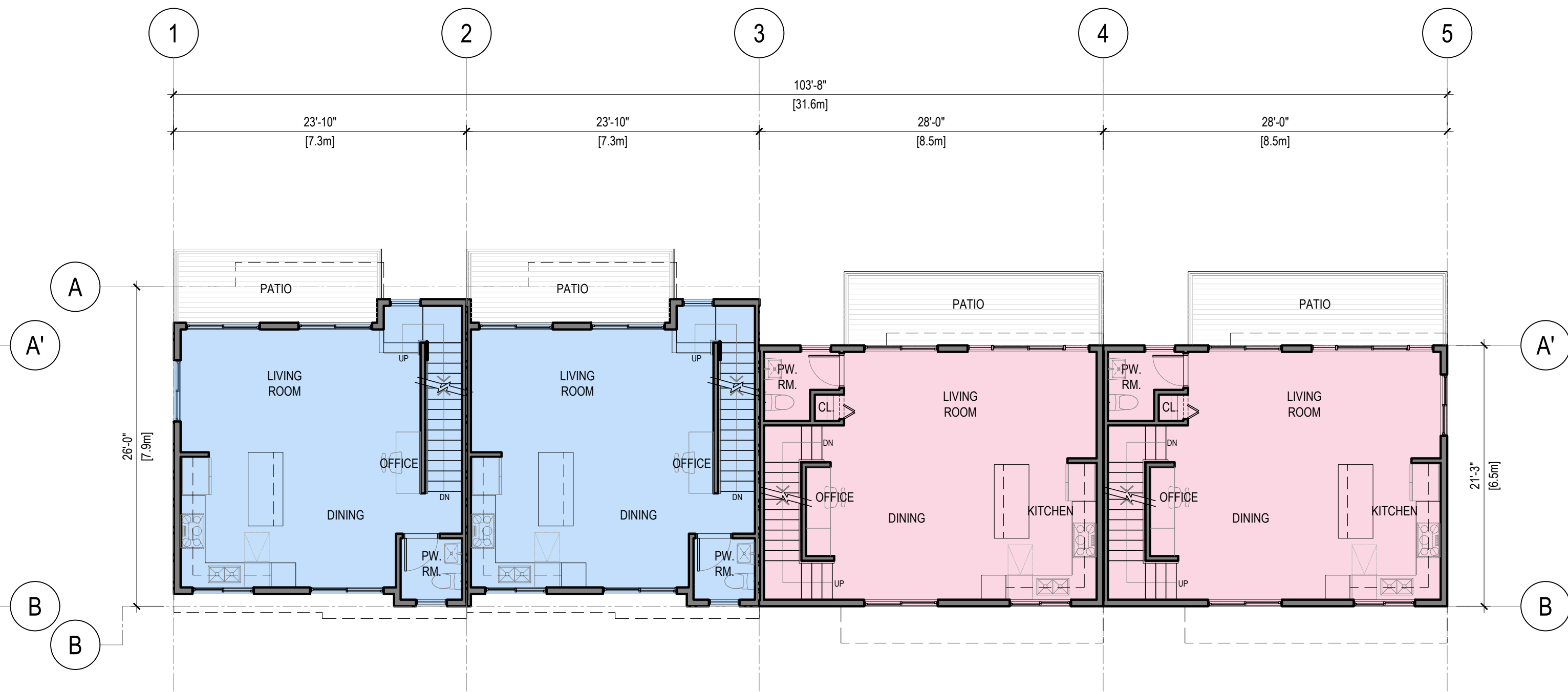
SHEET TITLE:

**BUILDING 9
FLOOR PLAN**

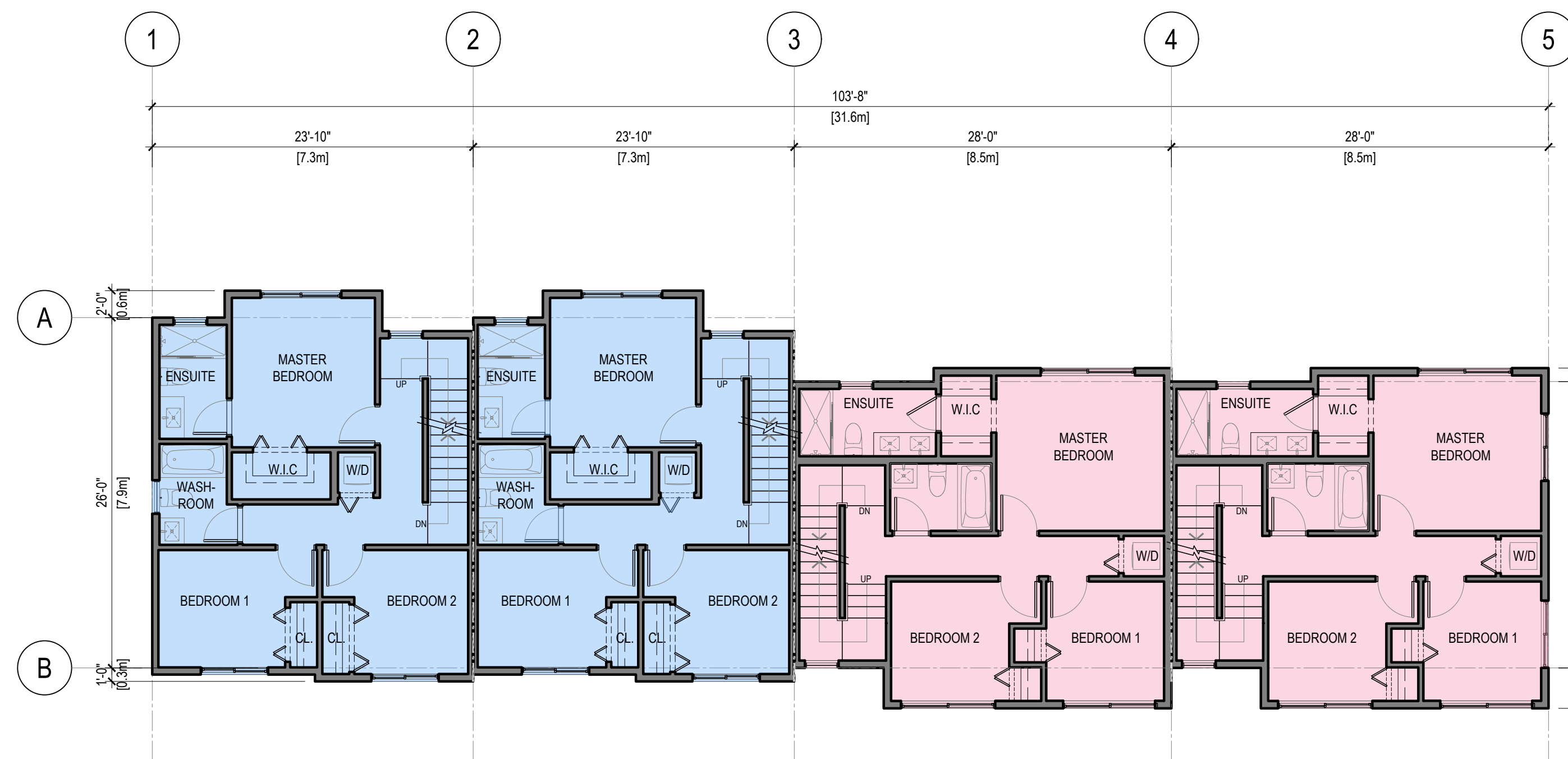
SCALE	REVISION
1/8" = 1'-0"	
DRAWING NO.	PROJECT NO.
A2.8	22-2020



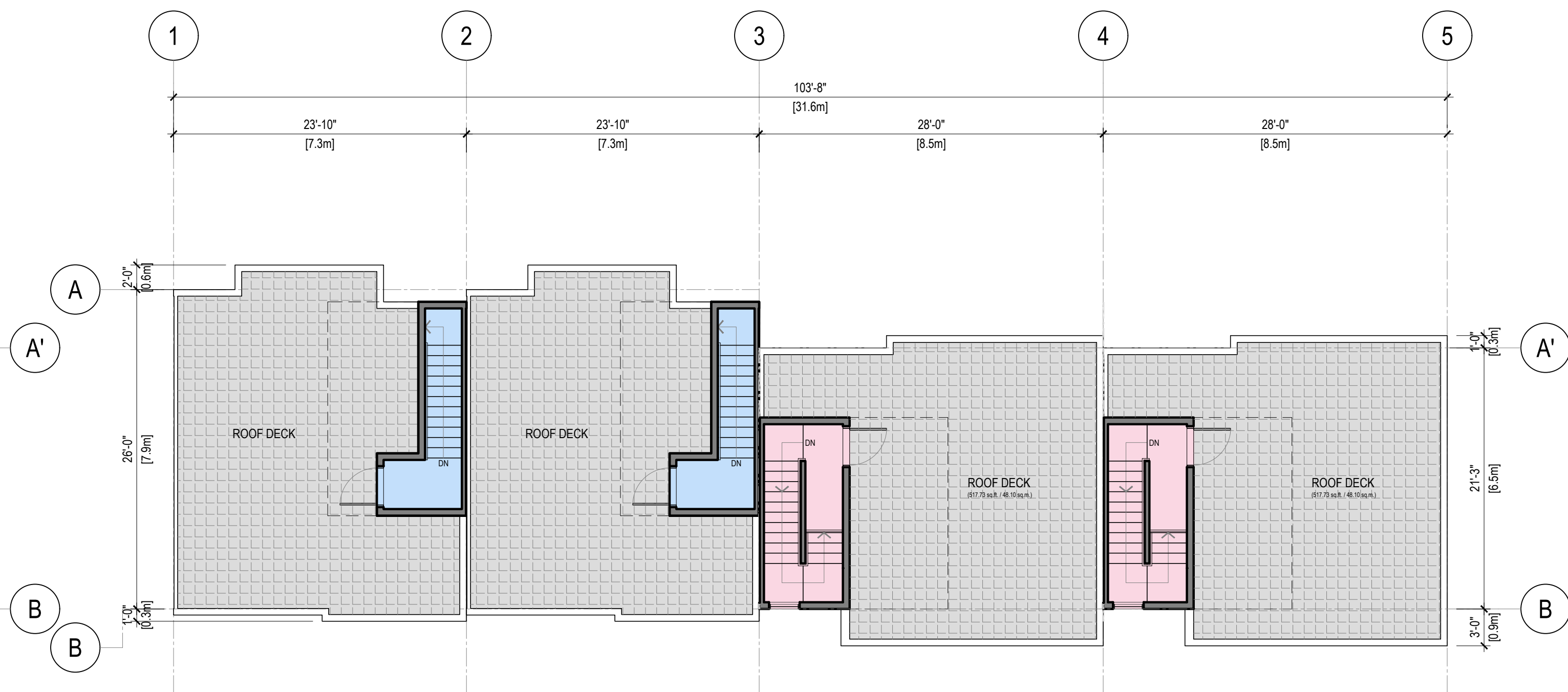
1 GROUND FLOOR PLAN - BUILDING 10
A2.9 SCALE: 1/8" = 1'-0"



2 MAIN FLOOR PLAN - BUILDING 10
A2.9 SCALE: 1/8" = 1'-0"



3 UPPER FLOOR PLAN - BUILDING 10
A2.9 SCALE: 1/8" = 1'-0"



4 ROOF DECK PLAN - BUILDING 10
A2.9 SCALE: 1/8" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
0	MAY 17 24	ISSUED FOR REZONING APPLICATION	VD	JMHR

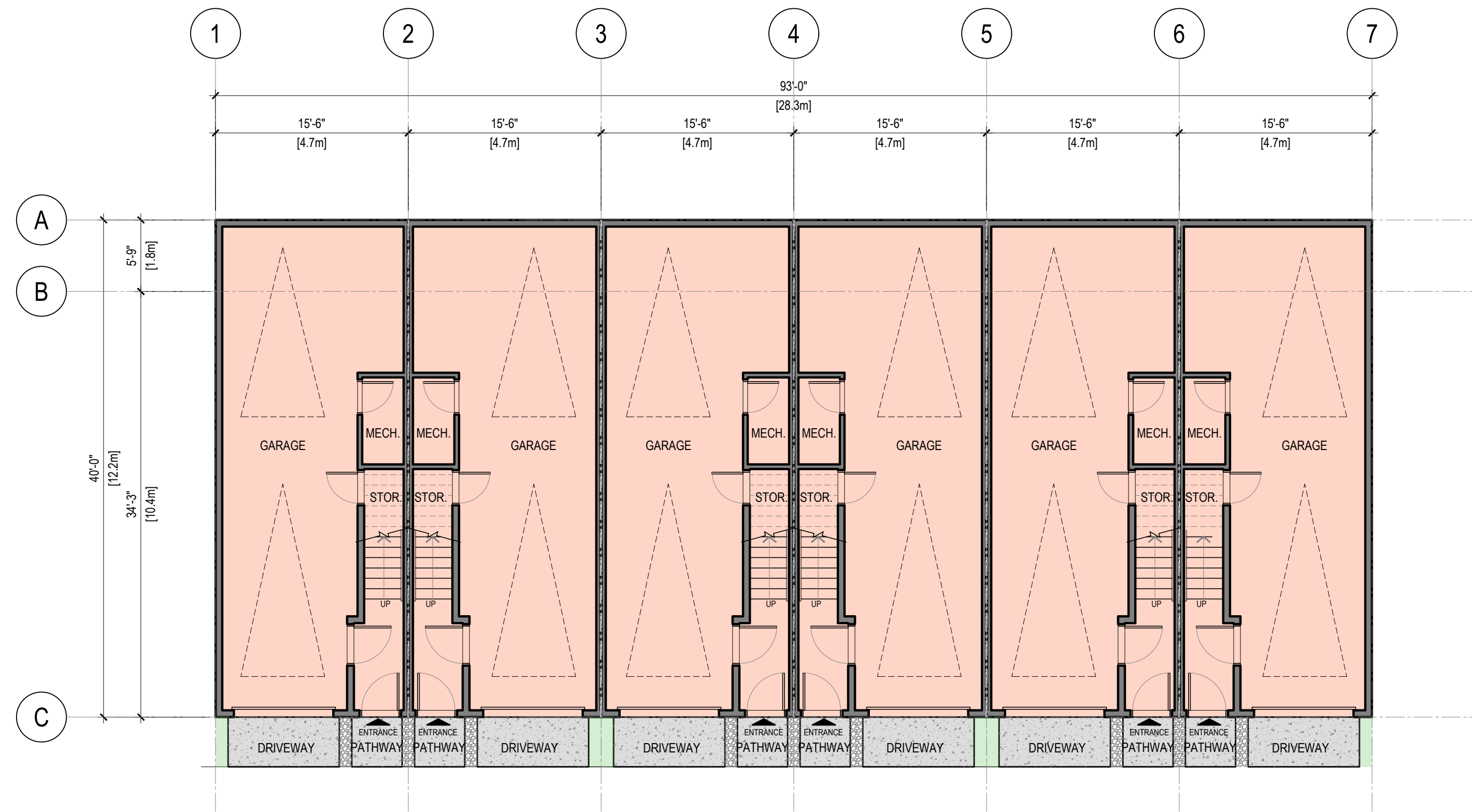
DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

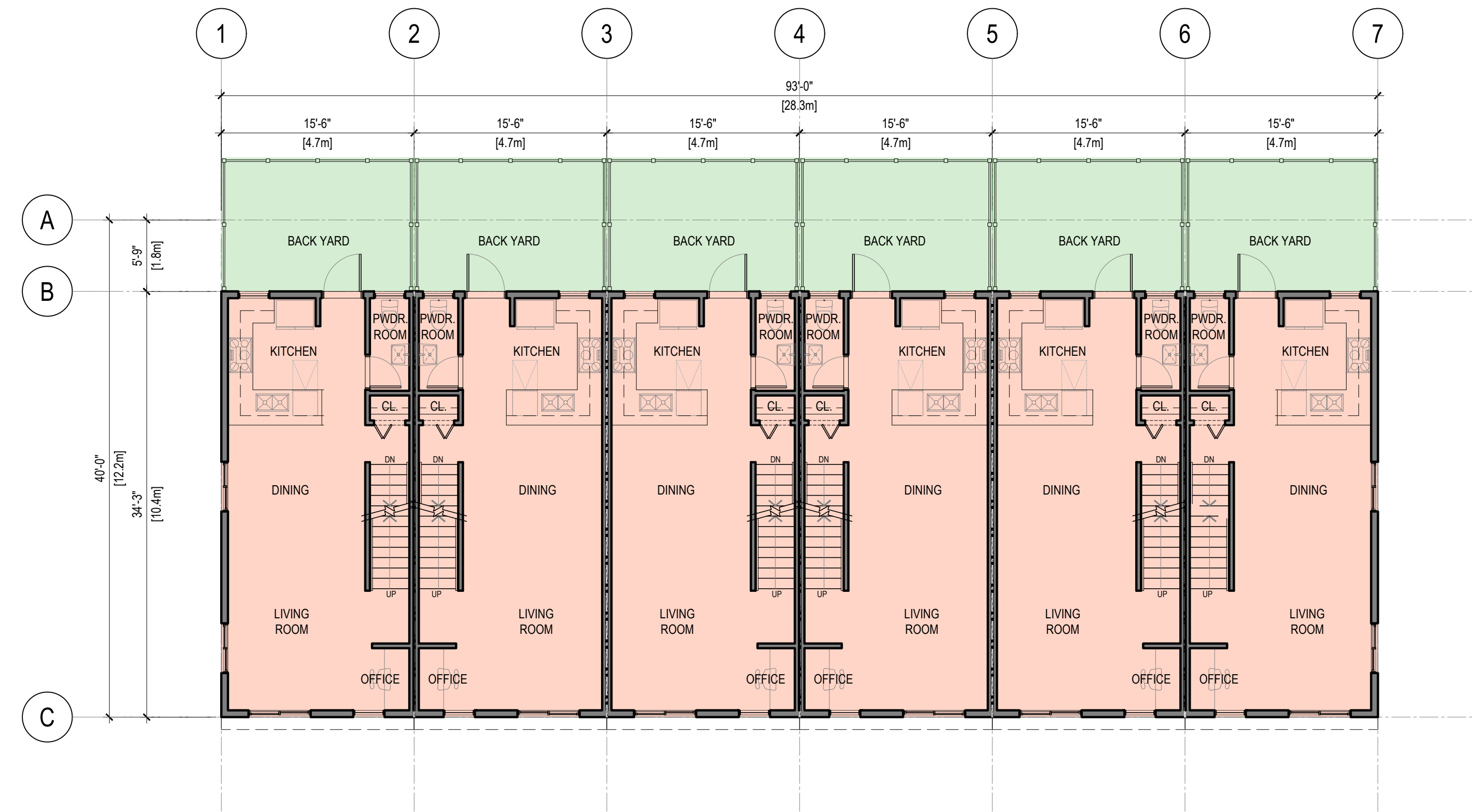
PROJECT: MULTI-FAMILY RESIDENTIAL DEVELOPMENT
5926 SHOAL WAY
SECHELT, BC V3N 3A6

**BUILDING 10
FLOOR PLAN**

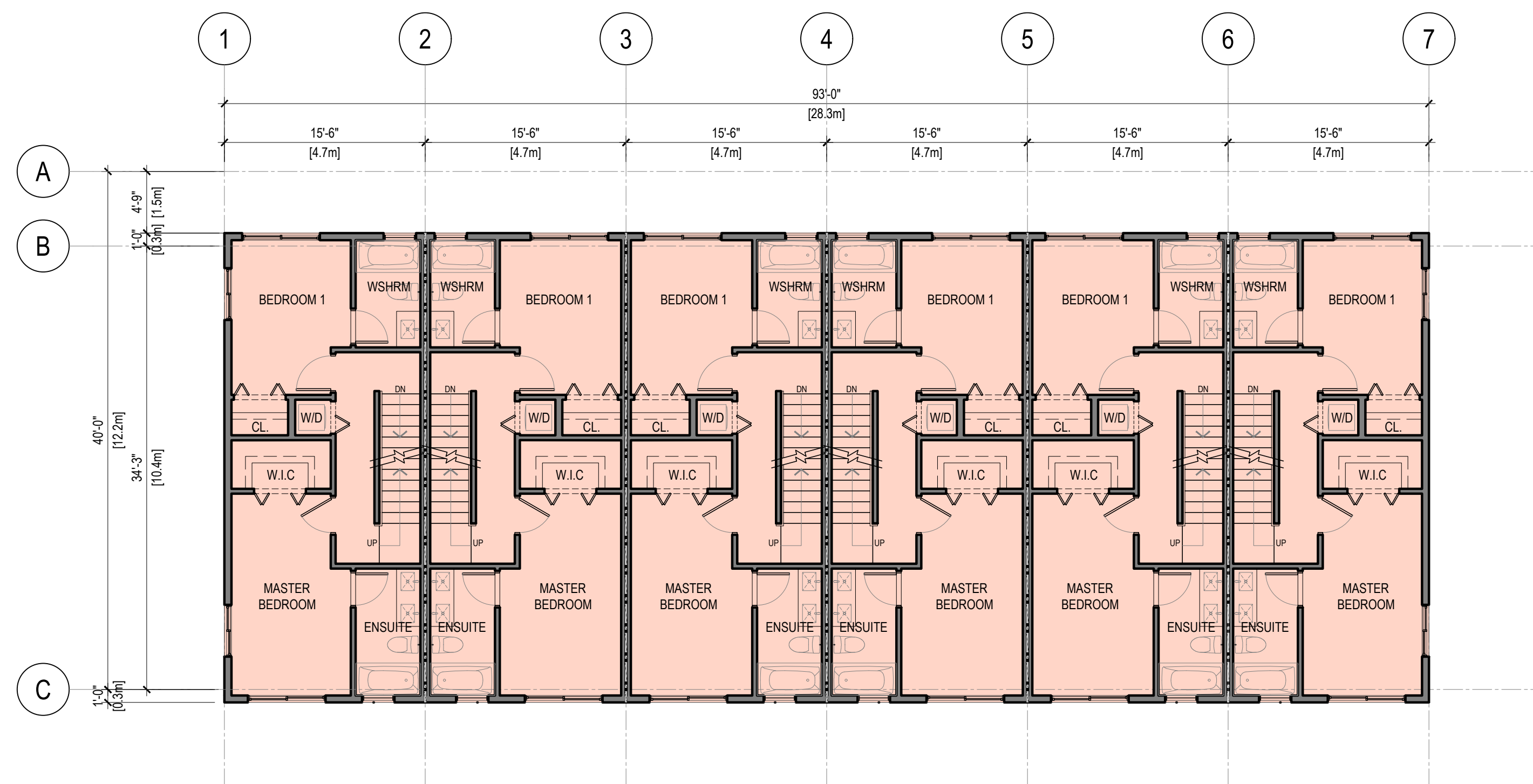
SCALE	REVISION
1/8" = 1'-0"	
DRAWING NO.	PROJECT NO.
A2.9	22-2020



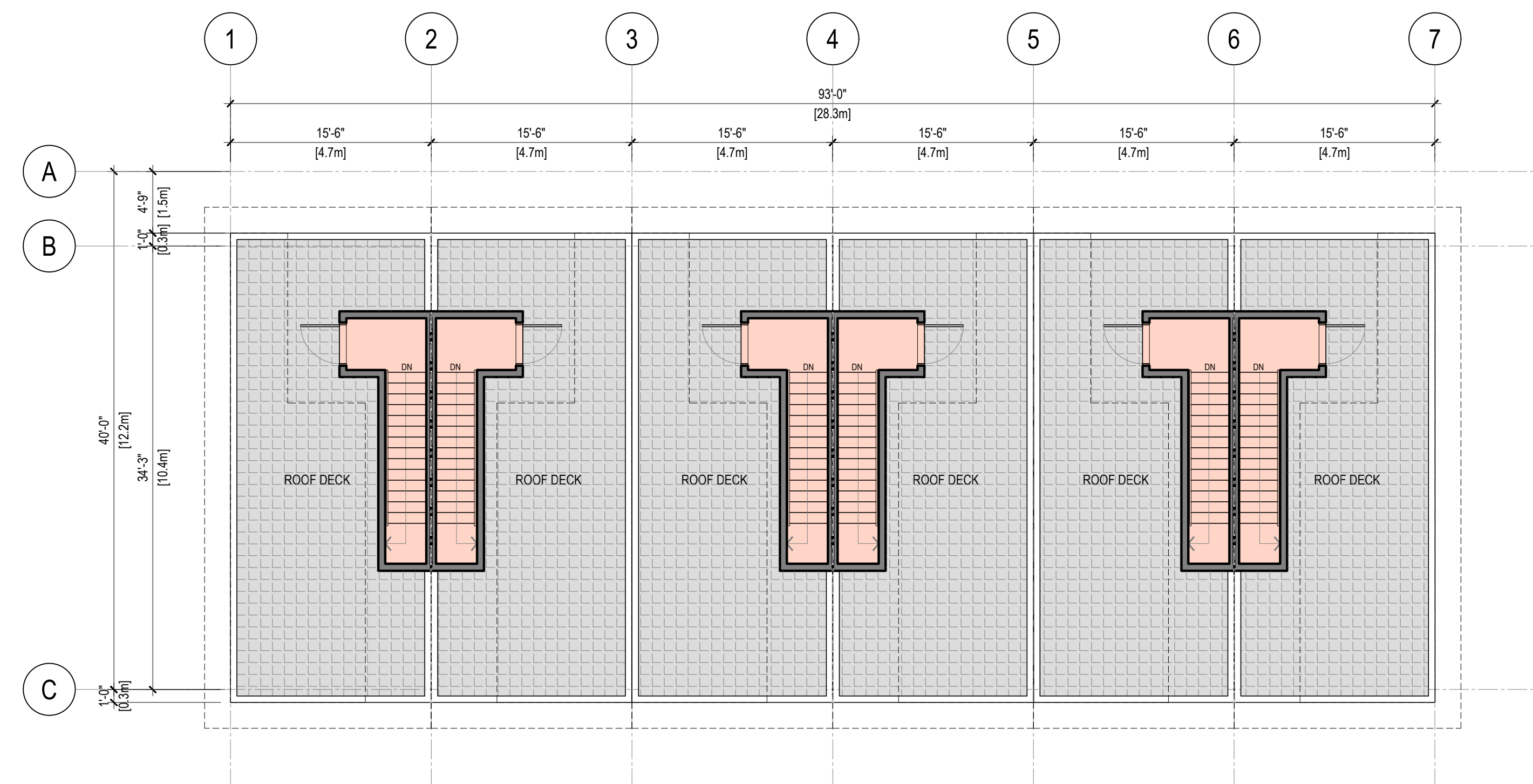
1 GROUND FLOOR PLAN - BUILDING 11 & 12
A2.10 SCALE: 1/8" = 1'-0"



2 MAIN FLOOR PLAN - BUILDING 11 & 12
A2.10 SCALE: 1/8" = 1'-0"



3 UPPER FLOOR PLAN - BUILDING 11 & 12
A2.10 SCALE: 1/8" = 1'-0"



4 ROOF DECK PLAN - BUILDING 11 & 12
A2.10 SCALE: 1/8" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
0	MAY 17 24	ISSUED FOR REZONING APPLICATION	VD	JH/R

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

PROJECT: MULTI-FAMILY RESIDENTIAL DEVELOPMENT

5926 SHOAL WAY
SECHELT, BC V3N 3A6

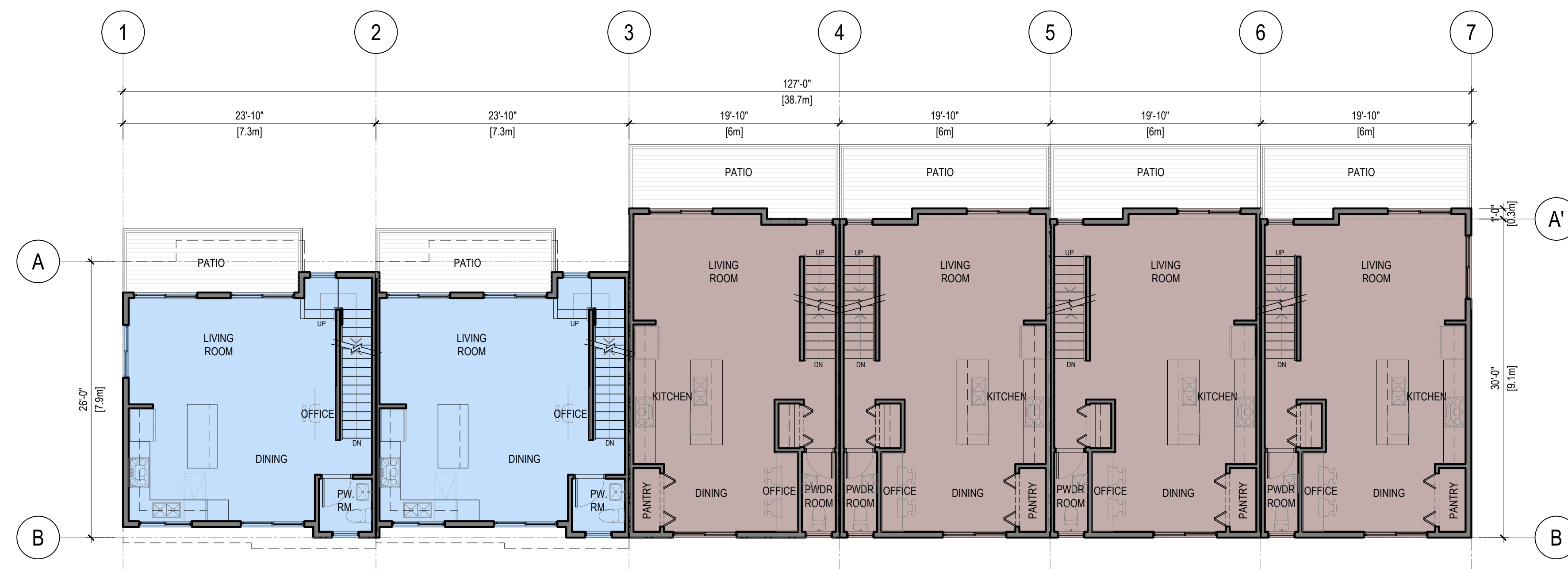
SHEET TITLE:

**BUILDING
11 & 12
FLOOR PLAN**

SCALE	REVISION
1/8" = 1'-0"	
DRAWING NO.	PROJECT NO.
A2.10	22-2020



1 GROUND FLOOR PLAN - BUILDING 13
A2.11 SCALE: 1/8" = 1'-0"



2 MAIN FLOOR PLAN - BUILDING 13
A2.11 SCALE: 1/8" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
0	MAY 17 24	ISSUED FOR REZONING APPLICATION	VD	JHHR

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.

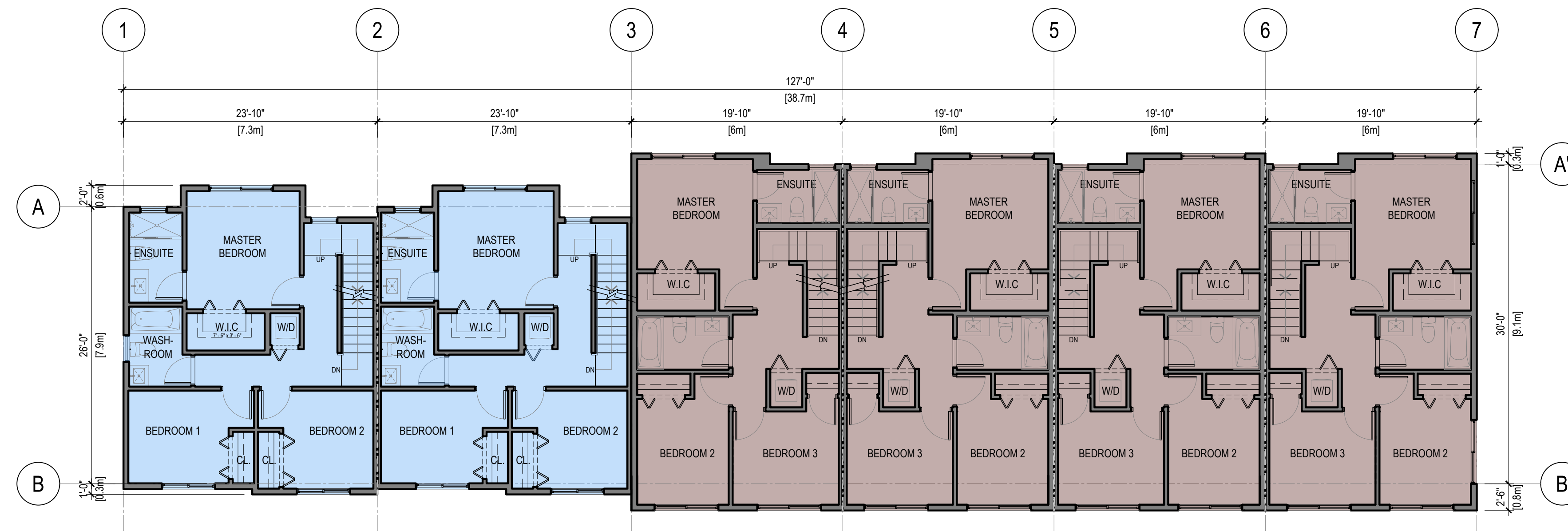
PROJECT:
**MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT**

5926 SHOAL WAY
SECHULT, BC V0N 3A6

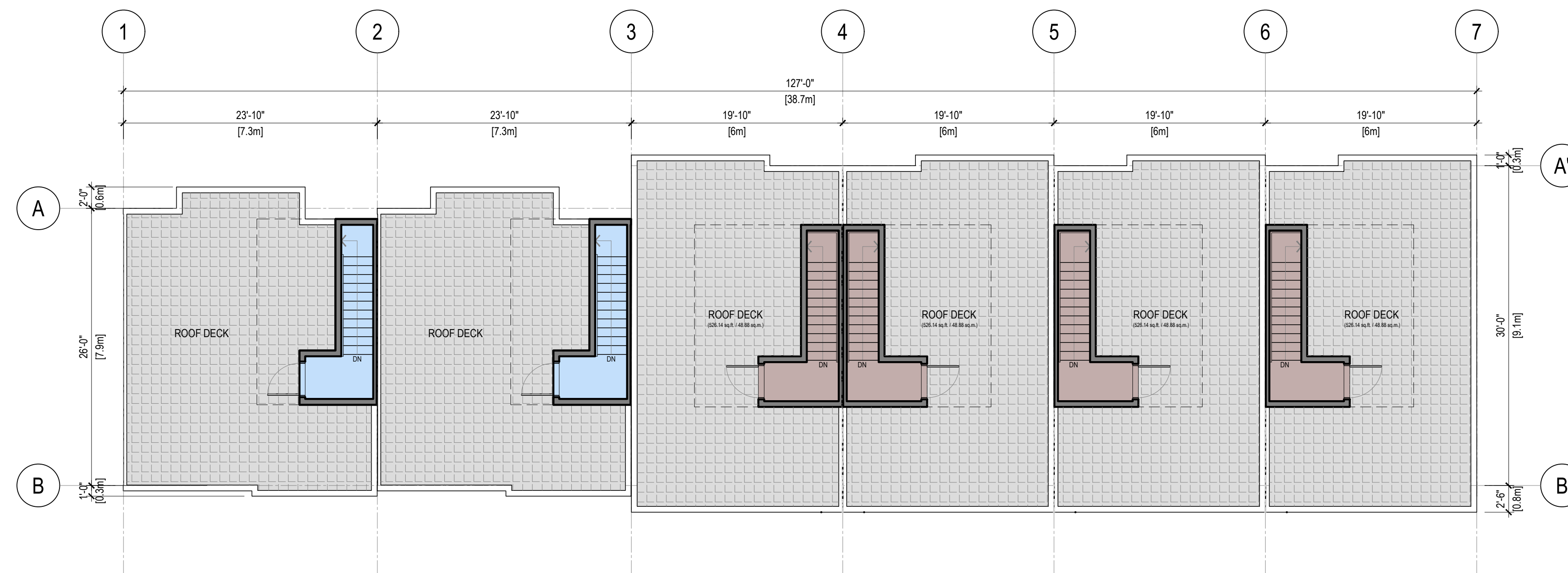
SHEET TITLE:

**BUILDING 13
FLOOR PLAN**

SCALE	REVISION
1/8" = 1'-0"	
DRAWING NO.	PROJECT NO.
A2.11	22-2020



1 UPPER FLOOR PLAN - BUILDING 13
A2.12 SCALE: 1/8" = 1'-0"



2 ROOF DECK PLAN - BUILDING 13
A2.12 SCALE: 1/8" = 1'-0"

REV	DATE	DESCRIPTION	DR	RV
0	MAY 17 24	ISSUED FOR REZONING APPLICATION	VD	JHHR

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE CONSULTANT.

PROJECT:
**MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT**

5926 SHOAL WAY
SECHELT, BC V3N 3A6

**BUILDING 13
FLOOR PLAN**

SCALE	REVISION
1/8" = 1'-0"	
DRAWING NO.	PROJECT NO.
A2.12	22-2020



1 BUILDING ELEVATION - BUILDING 4 & 5
A3.2 SCALE: 1/8" = 1'-0"



1 BUILDING ELEVATION - BUILDING 6
A3.2 SCALE: 1/8" = 1'-0"

0	MAY.17.24	ISSUED FOR REZONING APPLICATION	VD	JNHR
REV	DATE	DESCRIPTION	DR	RV

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

PROJECT:
**MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT**

5926 SHOAL WAY
SECHELT, BC V0N 3A6

SHEET TITLE:
**BUILDING
ELEVATION**

SCALE	REVISION
1/8" = 1'-0"	
DRAWING NO.	PROJECT NO.
A3.2	22-2020



1 BUILDING ELEVATION - BUILDING 9 & 10
A3.3 SCALE: 1/8" = 1'-0"



1 BUILDING ELEVATION - BUILDING 7 & 8
A3.3 SCALE: 1/8" = 1'-0"

0 MAY 17 24 ISSUED FOR REZONING APPLICATION VD JNHR

REV	DATE	DESCRIPTION	DR	RV

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

PROJECT:
**MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT**

5926 SHOAL WAY
SECHELT, BC V0N 3A6

**BUILDING
ELEVATION**

SCALE: 1/8" = 1'-0"	REVISION
DRAWING NO. A3.3	PROJECT NO. 22-2020



1 BUILDING ELEVATION - BUILDING 11 & 12
A3.4 SCALE: 1/8" = 1'-0"



1 BUILDING ELEVATION - BUILDING 13
A3.4 SCALE: 1/8" = 1'-0"

0	MAY.17.24	ISSUED FOR REZONING APPLICATION	VD	JNHR
REV	DATE	DESCRIPTION	DR	RV

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF APLIN & MARTIN CONSULTANTS LTD. THE COPYRIGHT IN THE SAME BEING RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF APLIN & MARTIN CONSULTANTS LTD. AND WHEN MADE MUST BEAR ITS NAME. ALL PRINTS TO BE RETURNED.

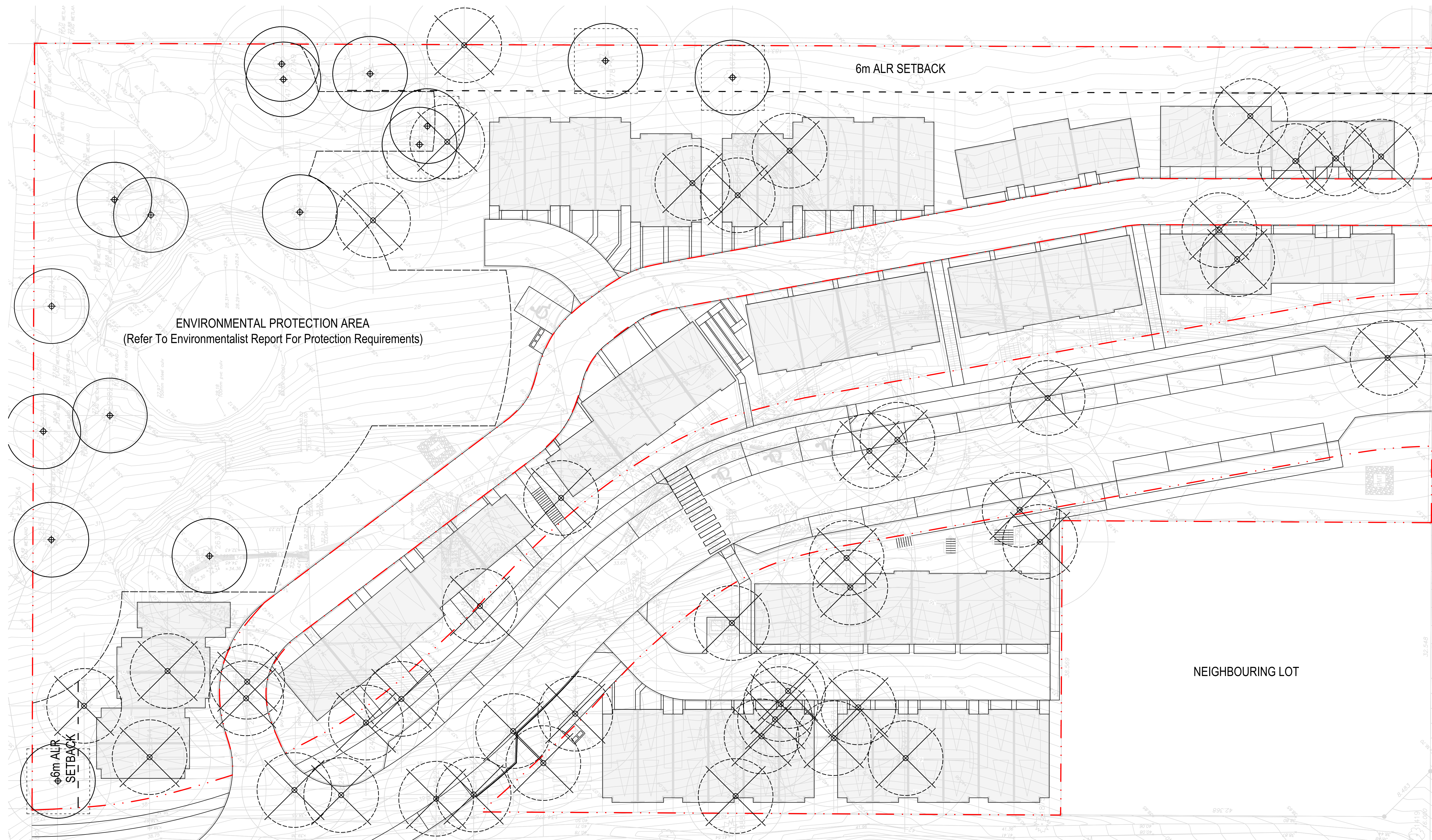
THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

PROJECT:
**MULTI-FAMILY
RESIDENTIAL
DEVELOPMENT**

5926 SHOAL WAY
SECHELT, BC V0N 3A6

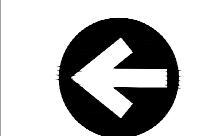
**BUILDING
ELEVATION**

SCALE	REVISION
1/8" = 1'-0"	
DRAWING NO.	PROJECT NO.
A3.4	22-2020



1 Issued for RZ 24-05-23

5926 SHOAL WAY
MULTIFAMILY
RESIDENTIAL
DEVELOPMENT



SCALE 1:250



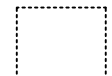
Drawing Title

TREE RETENTION PLAN

Drawing No.

L 01

TREE MANAGEMENT LEGEND

-  Trees To Be Retained
-  Trees To Be Removed
-  Tree Protection Fence (Refer To Arborist Report)

BOTANICAL NAME	COMMON NAME	SIZE & SPACING	ATTRIBUTES
TREES			
Cornus Mas	Cornelian Cherry	5 cm Cal.	Drought Tolerant
Malus Cultivars	Flowering Crabapple	5 cm Cal.	Drought Tolerant
Prunus Cerasifera	Ornamental Plum	5 cm Cal.	Drought Tolerant
Quercus Palustris	Pin Oak	6 cm Cal.	Native Plant
Acer Circinatum	Vine Maple	3 m Ht.	Native Plant
Fagus Sylvatica	Dawycck European Beech	6 cm Cal.	Native Plant
Prunus Emarginata	Bitter Cherry	5 cm Cal.	Drought Tolerant, Native Plant
Pinups Contorta	Shore Pine	5 cm Cal.	Drought Tolerant, Native Plant
SHRUBS			
Vaccinium Ovatum 'Thunderbird'	Thunderbird Evergreen Huckleberry	# 2 Pot, 600mm On Center	Drought Tolerant, Native Plant, Suitable for Rain Garden
Vaccinium Ovatum	Evergreen Huckleberry	# 2 Pot, 600mm On Center	Drought Tolerant, Native Plant, Pollinator Friendly
Rubus Spectabilis	Salmonberry	# 2 Pot, 600mm On Center	Drought Tolerant, Native Plant, Pollinator Friendly
Philadelphus	Mock Orange	# 2 Pot, 600mm On Center	Drought Tolerant, Native Plant, Pollinator Friendly
Rhododendron Macrophyllum	Pacific Rhododendron	# 2 Pot, 600mm On Center	Drought Tolerant, Native Plant, Pollinator Friendly
Spiraea Japonica	Anthony Waterer Spiraea	# 2 Pot, 600mm On Center	Drought Tolerant, Native Plant, Suitable for Rain Garden
Spiraea Bumalda	Goldflame Spiraea	# 2 Pot, 600mm On Center	Drought Tolerant, Native Plant, Suitable for Rain Garden
Cornus Sericea 'Kelsey'	Kelsey Dogwood	# 2 Pot, 600mm On Center	Drought Tolerant, Native Plant, Suitable for Rain Garden
Ceanothus 'Victoria'	California Lilac	# 2 Pot, 600mm On Center	Drought Tolerant
Vaccinium Ovatum	Evergreen Huckleberry	# 2 Pot, 600mm On Center	Drought Tolerant, Native Plant
Senecio Greyi	Grey's Senecio	# 2 Pot, 600mm On Center	Drought Tolerant
Ribes Sanguineum	Red-flowering Currant	# 2 Pot, 600mm On Center	Drought Tolerant
PERENNIALS			
Perovskia Atriplicifolia	Russian Sage	# 1 Pot, 300mm On Center	Drought Tolerant, Suitable for Rain Garden, Pollinator Friendly
Nepeta Faassenii 'Dropmore'	Dropmore Blue Catmint	# 1 Pot, 300mm On Center	Drought Tolerant, Suitable for Rain Garden, Pollinator Friendly
Echinacea Purpurea	Purple Coneflower	# 1 Pot, 300mm On Center	Drought Tolerant, Suitable for Rain Garden, Pollinator Friendly
Hemerocallis 'Rocket City'	Rocket City Daylily	# 1 Pot, 300mm On Center	Drought Tolerant, Suitable for Rain Garden, Pollinator Friendly
Leucanthemum Superbum 'Becky'	Becky Shasta Daisy	# 1 Pot, 300mm On Center	Drought Tolerant, Suitable for Rain Garden, Pollinator Friendly
Eriophyllum Lanatum	Woolly Sunflower	# 1 Pot, 300mm On Center	Drought Tolerant, Native Plant, Suitable for Rain Garden, Pollinator Friendly
Lupinus Polyphyllus	Large-leaf Lupine	# 1 Pot, 300mm On Center	Drought Tolerant, Native Plant, Suitable for Rain Garden, Pollinator Friendly
Allium Cernuum	Nodding Onion	# 1 Pot, 300mm On Center	Drought Tolerant, Native Plant, Suitable for Rain Garden, Pollinator Friendly
Dicentra Formosa	Pacific Bleeding Heart	# 1 Pot, 300mm On Center	Drought Tolerant, Native Plant, Suitable for Rain Garden, Pollinator Friendly
Helleborus Argutifolius	Corsican Hellebore	# 1 Pot, 300mm On Center	Drought Tolerant
Lavandula Angustifolia	English Lavender	# 1 Pot, 450mm On Center	Drought Tolerant
Maianthemum Racemosum	False Solomon's Seal	# 1 Pot, 300mm On Center	Drought Tolerant
Alchemilla Mollis	Lady's Mantle	# 1 Pot, 300mm On Center	Drought Tolerant
ORNAMENTAL GRASS & FERN			
Helictotrichon Sempervirens	Blue Oat Grass	# 1 Pot, 300mm On Center	Drought Tolerant
Stipa Gigantea	Giant Needle Grass	# 1 Pot, 300mm On Center	Drought Tolerant
Schizachyrium Scoparium	Little Bluestem	# 1 Pot, 300mm On Center	Drought Tolerant
Polystichum Munitum	Sword Fern	# 1 Pot, 300mm On Center	Drought Tolerant, Native Plant
GROUNDCOVERS			
Berberis Nervosa	Dwarf Oregon-grape	# 1 Pot, 300mm On Center	Drought Tolerant, Native Plant, Suitable for Rain Garden
Cornus Canadensis	Bunchberry	# 1 Pot, 300mm On Center	Native Plant, Suitable for Rain Garden
Cotoneaster Dammeri	Bearberry Cotoneaster	# 1 Pot, 300mm On Center	Drought Tolerant
Fragaria Chiloensis	Beach Strawberry	# 1 Pot, 300mm On Center	Drought Tolerant, Native Plant
Arctostaphylos Uva-ursi	Kinnikinnick/Bearberry	# 1 Pot, 300mm On Center	Drought Tolerant, Native Plant
Sedum Acre 'Aureum'	Golden Stonescrop	# 1 Pot, 300mm On Center	Drought Tolerant, Native Plant

PLANT PALETTE



Cornus Mas
Cornelian Cherry



Malus Cultivars
Flowering Crabapple



Prunus Cerasifera
Ornamental Plum



Quercus Palustris
Pin Oak



Acer Circinatum
Vine Maple



Fagus Sylvatica
Dawycck European Beech



Vaccinium Ovatum 'Thunderbird'
Thunderbird Evergreen Huckleberry



Rubus Spectabilis
Salmonberry



Philadelphus
Mock Orange



Rhododendron Macrophyllum
Pacific Rhododendron



Spiraea Japonica
Anthony Waterer Spiraea



Cornus Sericea 'Kelsey'
Kelsey Dogwood



Perovskia Atriplicifolia
Russian Sage



Nepeta Faassenii 'Dropmore'
Dropmore Blue Catmint



Echinacea Purpurea
Purple Coneflower



Hemerocallis 'Rocket City'
Rocket City Daylily



Eriophyllum Lanatum
Woolly Sunflower



Senecio Greyi
Grey's Senecio



Helictotrichon Sempervirens
Blue Oat Grass



Stipa Gigantea
Giant Needle Grass



Schizachyrium Scoparium
Little Bluestem



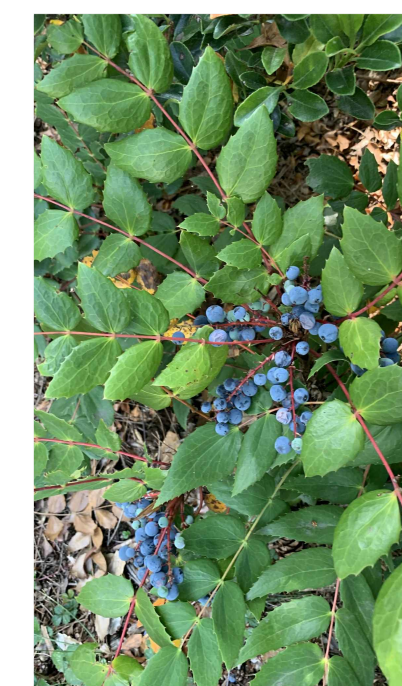
Polystichum Munitum
Sword Fern



Helictotrichon Sempervirens
Blue Oat Grass



Stipa Gigantea
Giant Needle Grass



Berberis Nervosa
Dwarf Oregon-grape



Cornus Canadensis
Bunchberry



Cotoneaster Dammeri
Bearberry Cotoneaster



Fragaria Chiloensis
Beach Strawberry



Arctostaphylos Uva-ursi
Kinnikinnick/Bearberry



Sedum Acre 'Aureum'
Golden Stonescrop

**DISTRICT OF SEHELDT
Bylaw No. 492-38, 2024**

Being a bylaw to amend District of Sechelt Official Community Plan Bylaw No. 492, 2010
for LOT B BLOCK 7 DISTRICT LOT 1471 GROUP 1 NEW WESTMINSTER DISTRICT PLAN BCP10125.

WHEREAS the District of Sechelt deems it necessary to amend the District of Sechelt Official Community Plan Bylaw No. 492, 2010;

NOW THEREFORE, the Council of the District of Sechelt in open meeting assembled enacts as follows:

TITLE

1. This bylaw may be cited for all purposes as, “Official Community Plan Amendment Bylaw No. 492-38, 2024”.

AMENDMENTS

2. That LOT B BLOCK 7 DISTRICT LOT 1471 GROUP 1 NEW WESTMINSTER DISTRICT PLAN BCP10125 at 5926 Shoal Way, as shown on the plan attached to and forming part of this bylaw as Schedule A, be amended to increase the density from 35 units per hectare to 38 units per hectare.

PROVISIONS

3. If any section, subsection or clause of this bylaw is for any reason held to be invalid by the decision of a court of competent jurisdiction, such decision will not affect the validity of the remaining portions of this bylaw.
4. That Schedule A is attached to and forms part of this bylaw.

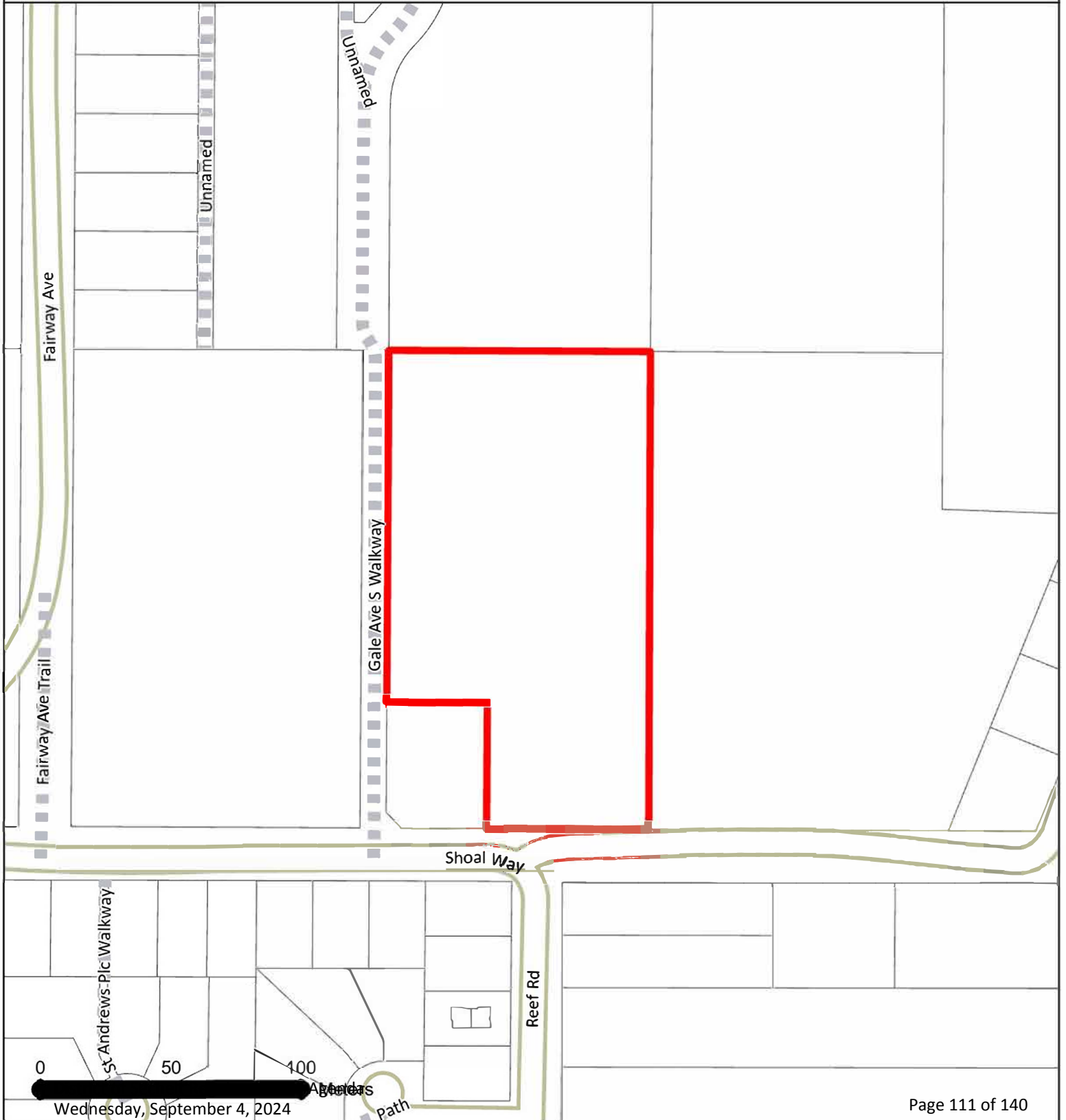
READ A FIRST TIME THIS	DAY OF	2024
READ A SECOND TIME THIS	DAY OF	2024
PUBLIC HEARING HELD THIS	DAY OF	2024
READ A THIRD TIME THIS	DAY OF	2024
ADOPTED THIS	DAY OF	2024

Mayor

Corporate Officer

CIVIC: 5926 Shoal Way
LEGAL: LOT B BLOCK 7 DISTRICT LOT 1471 GROUP 1 NEW
WESTMINSTER DISTRICT PLAN BCP10125
PID: 025-894-811

 Subject Property



**DISTRICT OF SEHELDT
Bylaw No. 580-15, 2024**

A bylaw to amend District of Sechelt Zoning Bylaw No. 580, 2022 for LOT B BLOCK 7 DISTRICT LOT 1471
GROUP 1 NEW WESTMINSTER DISTRICT PLAN BCP10125.

WHEREAS the District of Sechelt deems it necessary to amend the District of Sechelt Zoning Bylaw No. 580, 2022;

AND WHEREAS the proposed rezoning is consistent with Official Community Plan Bylaw No. 492, 2010;

NOW THEREFORE, the Council of the District of Sechelt in open meeting assembled enacts as follows:

TITLE

1. This bylaw may be cited for all purposes as “Zoning Amendment Bylaw No. 580-15, 2024”.

AMENDMENTS

2. That LOT B BLOCK 7 DISTRICT LOT 1471 GROUP 1 NEW WESTMINSTER DISTRICT PLAN BCP10125 at 5926 Shoal Way, as shown on the plan attached to and forming part of this bylaw as Schedule A, be rezoned from R2 (Residential Two Zone – Low Density, SSMUH Capability) to R5 (Residential Five Zone – Medium Density).
3. That Section 1.5.8 of the R5 zone be amended to include the following site-specific regulations:
LOT B BLOCK 7 DISTRICT LOT 1471 GROUP 1 NEW WESTMINSTER DISTRICT PLAN BCP10125
 - a) Maximum density is 38 units per hectare.
 - b) Minimum number of visitor off-street parking is one (1).
 - c) Minimum setback from the front lot line abutting a highway other than a lane is 1.5m
 - d) Minimum setback abutting a lane is 0.0m
 - e) Minimum setback from the exterior lot line is 1.5m
4. That Zoning Designation Schedules of Zoning Bylaw No. 580, 2022 (Official Zoning Maps Schedules A1 and A3) be amended to reflect the zoning designation and boundaries brought into force by this bylaw.

PROVISIONS

5. If any section, subsection or clause of this bylaw is for any reason held to be invalid by the decision of a court of competent jurisdiction, such decision will not affect the validity of the remaining portions of this bylaw.
6. That Schedule A is attached to and forms part of this bylaw.

READ A FIRST TIME THIS

DAY OF


2024

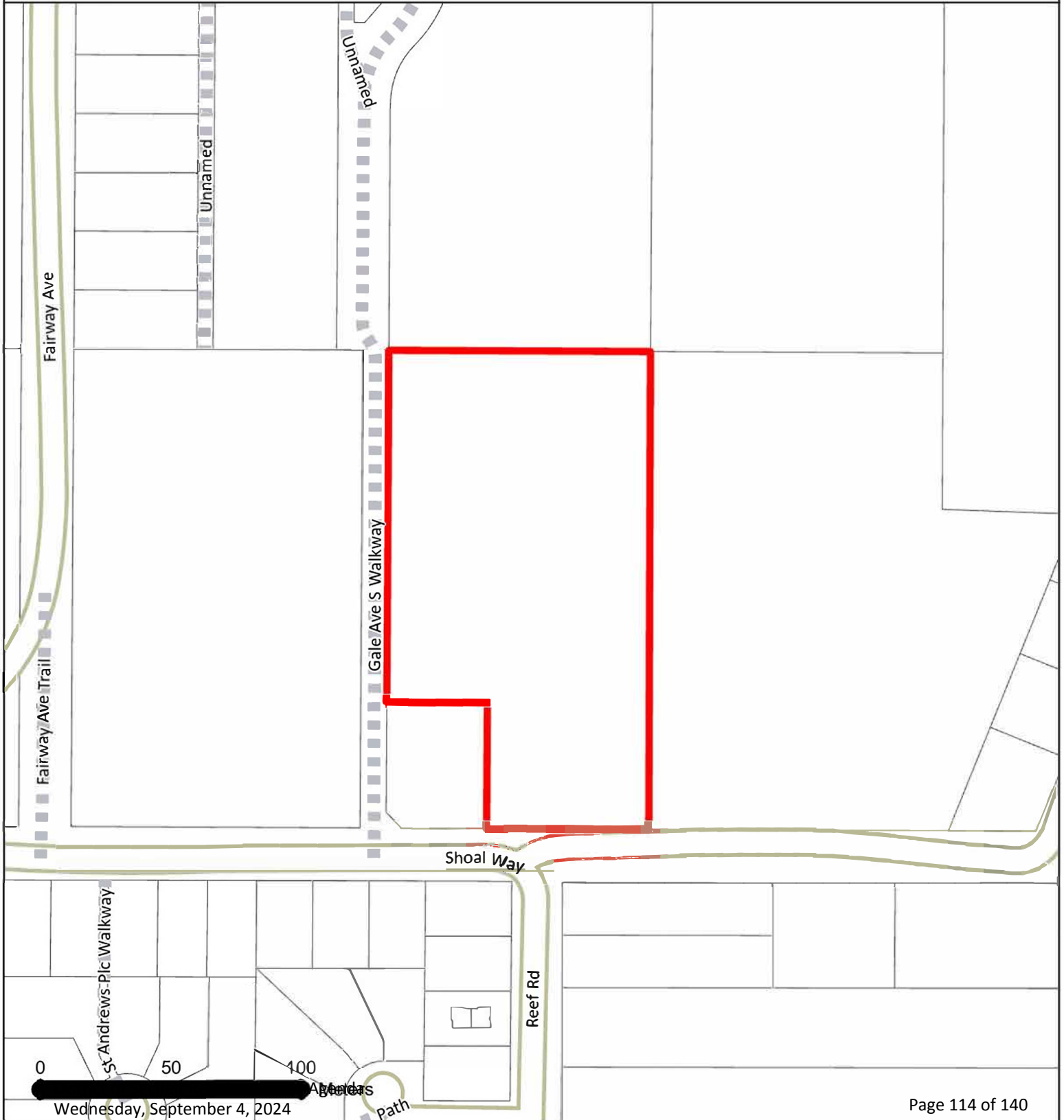
READ A SECOND TIME THIS	DAY OF	2024
PUBLIC HEARING HELD THIS	DAY OF	2024
READ A THIRD TIME THIS	DAY OF	2024
ADOPTED THIS	DAY OF	2024

Mayor

Corporate Officer

CIVIC: 5926 Shoal Way
LEGAL: LOT B BLOCK 7 DISTRICT LOT 1471 GROUP 1 NEW
WESTMINSTER DISTRICT PLAN BCP10125
PID: 025-894-811

 Subject Property





DISTRICT OF SECHELT

MINUTES OF THE SPECIAL COUNCIL MEETING

**August 19, 2024, 3:30 pm
Community Meeting Room
1st Floor, 5797 Cowrie St., Sechelt
and Via Zoom Online Meeting Platform**

PRESENT: Councillor B. Rowe (Chair), Councillor D. Bell, Councillor D. Inkster, Councillor D. McLauchlan, Councillor A. Toth

ABSENT: Mayor J. Henderson, Councillor A. Shepherd

STAFF: Acting Chief Administrative Officer and Director of Planning and Development A. Allen, Director of Engineering and Operations K. Dhillon, Director of Financial Services and Information Technology D. Douglas, Director of Corporate and Community Services L. Roberts, Corporate Officer K. Poulsen, Deputy Corporate Officer T. Forster (Recording Secretary)

1. LAND ACKNOWLEDGEMENT

The Chair acknowledged their gratitude for living on the traditional lands of the shíshálh Nation.

2. CALL TO ORDER AND DECLARATION OF CONFLICT

The Mayor called the Special Council to Closed Meeting to order at 3:32 pm and asked for declarations of conflict. There were none.

3. ADOPTION OF AGENDA

Res. No. 2024-8B-01

Moved/ Seconded

That the August 19, 2024 Special Council to Closed Meeting Agenda be amended to include consideration of approval for the Sept 7, 2024 TraC event, Car Free Cowrie Day; and

That the August 19, 2024, Special Council to Closed Meeting Agenda be amended to add the following Community Charter sections to the motion to move into closed: Section 90 (1):

(j) information that is prohibited, or information that if it were presented in a document would be prohibited, from disclosure under section 21 of the Freedom of Information and Protection of Privacy Act ;and

Section 90 (2):

(b) the consideration of information received and held in confidence relating to negotiations between the municipality and a provincial government or the federal government or both, or between a provincial government or the federal government or both and a third party; and

That the August 19, 2024 Special Council to Closed Meeting Agenda be adopted, as amended.

CARRIED

3.1 Car Free Cowrie Day - Transportation Choices Sunshine Coast (TraC)

Res. No. 2024-8B-02

Moved/ Seconded

That the Sept 7, 2024 event, "Car Free Cowrie Day", presented by the Transportation Choices of the Sunshine Coast Society be approved;

That the Chief Administrative Officer be authorized to send a letter of support for a liquor licence, subject to all special event permit conditions being met.

CARRIED

4. CLOSED SESSION

Res. No. 2024-8B-03

Moved/ Seconded

That the meeting be closed to the public pursuant at 3:35 pm to Sections 90 (1) (a), (c), (j) and Section 90 (2) (b) of the *Community Charter*.

CARRIED

4.1 CALL TO ORDER AND DECLARATION OF CONFLICT

4.2 ADOPTION OF CLOSED AGENDA

4.3 *Section 90 (1) (a), (c), (j) and Section 90 (2) (b)

5. ADJOURNMENT

Res. No. 2024-8B-04

Moved/ Seconded

That the August 19, 2024 Special Council to Closed Meeting be adjourned at 4:44 pm.

CARRIED

Certified correct by:

Brenda Rowe, Chair

Certified correct by:

Kerianne Poulsen, Corporate Officer



DISTRICT OF SECHELT

MINUTES OF THE REGULAR COUNCIL MEETING

**August 7, 2024, 7:00 pm
Community Meeting Room
1st Floor, 5797 Cowrie St., Sechelt
and Via Zoom Online Meeting Platform**

PRESENT: Mayor J. Henderson, Councillor D. Inkster, Councillor D. McLauchlan, Councillor B. Rowe, Councillor A. Toth

ABSENT: Councillor D. Bell, Councillor A. Shepherd

STAFF: Chief Administrative Officer A. Yeates, Director of Engineering and Operations K. Dhillon, Director of Corporate and Community Services L. Roberts, Acting Director of Planning and Development and Development Planning Manager I. Holl, Acting Director of Financial Services and Information Technology B. Smith, Senior Development Planner T. Baker, Engineering Technologist S. Fjetland, Deputy Corporate Officer T. Forster, Administrative Assistant C. Kidd (Recording Secretary)

1. LAND ACKNOWLEDGEMENT

The Chair noted the land acknowledgement.

2. CALL TO ORDER AND DECLARATION OF CONFLICT

The Mayor called the Regular Council Meeting to order at 7:00 pm and asked for declarations of conflict. There were none.

3. ADOPTION OF AGENDA

Res. No. 2024-8A-01

Moved/ Seconded

That the recommendation for Agenda Item 10.1 be amended to reflect the total grant amounts recommended by the Sunshine Coast Community Forest Legacy Fund Grant Committee as follows:

Gibsons Seniors Society - Hall Expansion	\$15,000
Gibsons Curling Club (GCC) Upgrades	\$5,000
Halfmoon Bay Community Association - Coopers Green Hall Kitchen Renovation	\$15,000
Pender Harbour Music Society - Performance Space Enhancement	\$12,000
Pender Harbour Reading Centre Society - Community Library Upgrade	\$8,000
St. Bart's Food Bank Expansion	\$15,000
Sunshine Coast Affordable Housing Society - Shaw Road Affordable Housing and Community Amenities	\$25,800
West Sechelt Community Association (WSCA) - Sechelt Community Bulletin Boards	\$15,200
TOTAL	\$111,000

; and

That the August 7, 2024 Regular Council Agenda be adopted, as amended.

CARRIED

4. DELEGATIONS & PROCLAMATIONS

None.

5. BUSINESS ITEMS

5.1 Council Appointments to Municipal Insurance Association of BC's 2024 Annual General Meeting

Res. No. 2024-8A-02

Moved/ Seconded

That Mayor Henderson be appointed as voting delegate at the Municipal Insurance Association of BC's Annual General Meeting on September 17, 2024; and

That Councillor Inkster and Councillor Rowe be appointed as alternates.

CARRIED

5.2 Service Agreement Renewal for Sechelt Community Archives

Staff noted the only change to the agreement is an increase from a three-year term to a five-year term, which is mutually agreed upon by District staff and Sunshine Coast Museum and Archives.

Res. No. 2024-8A-03

Moved/ Seconded

That a five-year service agreement with the Sunshine Coast Museum and Archives for the operation of the Sechelt Community Archives be approved; and

That the Director of Corporate and Community Services and Corporate Officer be authorized to sign the agreement.

CARRIED

5.3 Wakefield Road Culvert Replacement Award and Additional Funding

Staff presented an overview of the Wakefield Culvert Replacement Project and requested an additional \$300,000 to cover increased costs and restore a 25% contingency.

The following was noted by staff:

- The project received five bids; NB Contracting submitted the lowest.
- Work includes replacing a steel culvert with a cement one and adding headwalls.
- Cement culverts are expected to last 50 years; whereas steel culverts last 30 years.
- The archaeological risk is low, so it is possible the \$200,000 contingency funding may not be needed and would be returned to the reserve fund.
- Work is expected to start 12 late August 2024 and finish late fall or early winter 2024.
- GST is initially paid by the District but is later reclaimed.

Council recognized this is Director of Engineering Kirn Dhillon's final report to Council before transitioning to the Bowen Island Municipality as their new Chief Administrative Officer. Council expressed their best wishes for his success in the new role.

Res. No. 2024-8A-04

Moved/ Seconded

That additional funding for the Wakefield Road Culvert Replacement project in the amount of \$300,000 be approved for a total project cost of \$1,182,238.00 with funding to come from the Growing Communities Fund; and

That the Wakefield Road Culvert Replacement contract be awarded to NB Contracting LTD. in the amount of \$864,366.88 + GST; and that the Director of Engineering and Operations and the Corporate Officer be authorized to sign the contract.

CARRIED

6. BYLAWS**6.1 Official Community Plan and Zoning Amendment for École du Pacifique**

Council received a request for an Official Community Plan Amendment, and a Zoning Amendment to allow for the construction of a new Francophone Educational Facility.

During discussion it was noted:

- The proposed Francophone facility would offer primary and secondary education, along with a child care centre.
- Statistics Canada projects around 200 Francophone students within ten years.
- In depth traffic and geotechnical studies are expected as the project progresses.

a. For First Reading

Res. No. 2024-8A-05

Moved/ Seconded

That Official Community Plan Amendment Bylaw No. 492-37, 2024 be read a first time this 7th day of August 2024; and

That Council consider Official Community Plan Amendment Bylaw No. 492-37, 2024 in conjunction with the District of Sechelt Financial Plan and Waste Management Plan, pursuant to Section 477 of the Local Government Act; and

That Council refer Official Community Plan Amendment Bylaw No. 492-37, 2024 to relevant organizations for comment as part of early and on-going engagement, pursuant to Section 475 of the Local Government Act and Council Policy 3.3.7 Official Community Plan Consultation; and

That Zoning Amendment Bylaw No. 580-14, 2024 be read a first time this 7th day of August 2024; and

That prior to consideration of adoption, the applicant shall:

- a. Enter into a section 219 covenant to be registered on the property title to require a landscape plan and cost estimate from a qualified professional to the satisfaction of the District, be provided prior to the issuance of a Building Permit.

CARRIED

7. MINUTES OF PREVIOUS MEETINGS

7.1 Minutes of the July 17, 2024 Regular Council Meeting

Res. No. 2024-8A-06

Moved/ Seconded

That the Minutes of the July 17, 2024 Regular Council Meeting be adopted.

CARRIED

7.2 Minutes of the July 24, 2024 Regular Council to Closed Meeting

Res. No. 2024-8A-07

Moved/ Seconded

That the Minutes of the July 24, 2024 Regular Council to Closed Meeting be adopted.

CARRIED

OPPOSED: Mayor Henderson

7.3 Minutes of the July 19, 2024 Special Council to Closed Meeting

Res. No. 2024-8A-08

Moved/ Seconded

That the Minutes of the July 19, 2024 Special Council to Closed Meeting be adopted.

CARRIED

7.4 Minutes of the July 10, 2024 Regular Council to Closed Meeting

Res. No. 2024-8A-09

Moved/ Seconded

That the Minutes of the July 10, 2024 Regular Council to Closed Meeting be adopted.

CARRIED

8. BUSINESS ARISING FROM THE MINUTES

None.

9. COUNCIL REPORTS**9.1 Sunshine Coast Regional District Representatives**

Council received verbal updates from the Sunshine Coast Regional District Representatives.

- Councillor Toth provided an update at 7:55 pm.
- Councillor Inkster provided an update at 7:57 pm.

9.2 Council

Members of Council provided verbal updates of their activities.

- Councillor McLaughlan provided a report at 7:58 pm.
- Councillor Rowe provided a report at 7:59 pm.
- Councillor Toth provided a report at 8:07pm.
- Mayor Henderson provided a report at 8:09 pm.
- Councillor Inkster provided a report at 8:11 pm.

Res. No. 2024-8A-10

Moved/ Seconded

That up to \$1000 be used from the Community Safety Budget to hire a facilitator and source a venue for a public engagement session with members of Council and the RCMP in August 2024.

CARRIED

10. CORRESPONDENCE**10.1 2024-07-10 Sunshine Coast Community Forest - Legacy Fund Grant Recommendations***

Council acknowledged the Sunshine Coast Community Forest Legacy Fund Committee's work on the grant program, and the SCCF's ability to provide alternative forms of support such as lumber for community projects.

Res. No. 2024-8A-11

Moved/ Seconded

That the Sunshine Coast Community Forest Legacy Fund Grant Committee recommendations be approved:

Gibsons Seniors Society - Hall Expansion	\$15,000
Gibsons Curling Club - Upgrades	\$5,000
Halfmoon Bay Community Association - Coopers Green Hall Kitchen Renovation	\$15,000
Pender Harbour Music Society - Performance Space Enhancement	\$12,000
Pender Harbour Reading Centre Society - Community Library Upgrade	\$8,000
St. Bart’s Food Bank - Expansion	\$15,000
Sunshine Coast Affordable Housing Society - Shaw Road Affordable Housing and Amenities	\$25,800
West Sechelt Community Association (WSCA) - Sechelt Community Bulletin Boards	\$15,200
TOTAL	\$111,000

CARRIED

10.2 2024-07-18 Chair Leonard Lee - SCRD Community Climate Action Plan

Res. No. 2024-8A-12

Moved/ Seconded

That Raphael Shay, Manager, Sustainable Development, or another member of the Sunshine Coast Regional District (SCRD) staff be invited to present the SCRD Community Climate Action Plan to Council.

CARRIED

11. RELEASE OF CLOSED MEETING ITEMS

None.

12. ADJOURNMENT

Res. No. 2024-8A-13

Moved/ Seconded

That the August 7, 2024 Regular Council Meeting be adjourned at 8:24 pm.

CARRIED

Certified correct by:

John Henderson, Mayor

Certified correct by:

Kerianne Poulsen, Corporate Officer



DISTRICT OF SECHELT

MINUTES OF THE COMMITTEE OF THE WHOLE MEETING

July 24, 2024, 3:00 pm
Community Meeting Room
1st Floor, 5797 Cowrie St., Sechelt
and Via Zoom Online Meeting Platform

PRESENT: Councillor B. Rowe (Chair), Mayor J. Henderson, Councillor D. Inkster, Councillor D. McLauchlan, Councillor A. Shepherd, Councillor A. Toth

ABSENT: Councillor D. Bell

STAFF: Acting Chief Administrative Officer and Director of Planning and Development A. Allen, Director of Engineering and Operations K. Dhillon, Director of Financial Services and Information Technology D. Douglas, Director of Corporate and Community Services L. Roberts, Community Planner, M. Stjepovic, Climate and Wildfire Policy Intern, T. Urquhart, Corporate Officer K. Poulsen, Executive Assistant J. Doherty (Recording Secretary)

1. LAND ACKNOWLEDGEMENT

The Chair acknowledged their gratitude for living on the traditional lands of the shíshálh Nation.

2. CALL TO ORDER AND DECLARATION OF CONFLICT

The Chair called the Committee of the Whole Meeting to order at 3 pm and asked for declarations of conflict. There were none.

3. ADOPTION OF AGENDA

Recommendation No. 1

Moved/ Seconded

That the July 24, 2024 Committee of the Whole Meeting Agenda be adopted.

CARRIED

4. DELEGATIONS & PROCLAMATIONS

None.

5. BUSINESS ITEMS

5.1 Internship Update - Climate Change Public Awareness and Wildfire Policy Review

Staff provided a presentation on the work completed to date on Climate Change Public Awareness and Wildfire Policy Review.

In response to questions from Council:

- Staff provided clarification on recommended building materials that can reduce the risk of wildfire spreading.
- The Fire Smart program has information and programming for homeowners to improve fire safety around personal property, including free onsite inspections.

Council discussed the following topics:

- Protection of Sechelt's urban forests.
- Federal fire safety regulations.

5.2 Community Forest Legacy Fund Dividends Policy and Bylaw Amendment

Staff provided an overview of the current Legacy Fund uses and proposed changes in the new policy and bylaw amendment with an emphasis on the importance of transparency and fairness with the use of municipal funds.

Council discussed:

- The scope and types of projects that could be funded by Legacy Funds.
- Policies in other community forests.
- Amenity contributions.

In response to questions from Council, staff confirmed:

- The Community Forest Executive Director provided a comment in support of the transparent process proposed and the Board will be provided an opportunity to comment.
- The proposed changes include all Community Forest dividends.

Recommendation No. 2

Moved/ Seconded

That District of Sechelt Sunshine Coast Community Forest Dividends Policy 2.5.8 be adopted; and

That the Sunshine Coast Community Forest Legacy Fund Bylaw Amendment No. 529-01, 2024 be adopted.

DEFEATED

OPPOSED: Mayor Henderson and Councillors Inkster, McLaughlan, Rowe and Toth

Recommendation No. 3

Moved/ Seconded

That the July 24, 2024, Committee of the Whole staff report titled *Community Forest Legacy Fund Dividends Policy and Bylaw Amendment* be referred back to staff for further analysis and consideration of comments from the Sunshine Coast Community Forest Board of Directors.

CARRIED

OPPOSED: Councillor Shepherd

5.3 2024 Second Quarter Report

Council discussed the District's second quarter activities.

In response to questions, staff confirmed:

- The Wakefield Lift Station is expected to be commissioned in November.
- The Community Land Development Analysis is a part of the Complete Communities Program grant project, which includes in depth analyses of housing, infrastructure transportation and daily needs for Sechelt, the shíshálh Nation and Sunshine Coast Regional District; and will closely align with the Official Community Plan Review.
- For dust suppression the District uses flaked calcium chloride and wherever possible it is applied using non potable water.
- Annual street line painting is coordinated with projects that involve planned street line painting, depending on weather and will primarily focus in the downtown for this season.

6. ADJOURNMENT

Recommendation No. 4

Moved/ Seconded

That the July 24, 2024 Committee of the Whole meeting be adjourned at 3:57 pm.

CARRIED

Certified correct by:

Brenda Rowe, Chair

Certified correct by:

Kerianne Poulsen, Corporate Officer

**DISTRICT OF SEHELDT
MINUTES OF THE ADVISORY PLANNING COMMISSION MEETING
Community Meeting Room
1st Floor, 5797 Cowrie St., Sechelt
and
Via Zoom Online Meeting Platform
Tuesday, July 2, 2024
6:00 pm**

PRESENT **Commissioners** Sharif Senbel (Chair), Scott Hanna, Randy Knill, Sheena Macdonald, Archie Maclean, Bill McCreery, Darryl Brin, and Javier Siu

REGRETS **Commissioners** Joanne Van Ginkel and Ken King

STAFF Director of Planning and Development A. Allen, Senior Development Planner T. Baker, Recording Secretary, M. Sugars

1. CALL TO ORDER

The Chair called the Advisory Planning Commission (APC) Meeting to order at 6:00 pm.

2. ADOPTION OF AGENDA

Recommendation No. 1 – Agenda

Moved/Seconded

That the agenda be amended to include item 5.2 (Role of the Advisory Planning Commission); and

That the agenda be adopted as amended.

CARRIED

It was noted that commissioners would like to discuss the recently released Governance Audit executive summary at the next meeting.

3. ADOPTION OF MINUTES

3.1 Minutes of the May 7, 2024 Advisory Planning Commission Meeting

Recommendation No. 2 – Minutes of the May 7, 2024 Advisory Planning Commission Meeting

Moved/Seconded

That the minutes of May 7, 2024 Advisory Planning Commission meeting be amended to clarify that bikes stored outside may be *unsecured*, not *unsafe*; and

That the minutes be adopted as amended.

CARRIED

4. INTRODUCTION TO AGENDA ITEMS

The Director of Planning and Development introduced the District’s new Senior Development Planner, and explained the applicants were in attendance to provide a brief presentation and answer any questions the commission may have.

5. BUSINESS ITEMS AND REPORTS

5.1 Development Permit for 5519 and 5517 Wharf Avenue (Coastal Living)

The Senior Development Planner provided a brief presentation of the development application.

The applicant provided a presentation and noted the following:

- The overall goal is to improve the façade, create a secured retail space, and provide tenant improvements.
- There have been ongoing incidents of theft and illegal activity, including a large several hundred-pound planter.
- There have been unsafe conditions in the back employee and the tenant entrances.
- They are keeping all natural wood features as-is.
- The proposed back wall will be moved back to be in line with adjacent buildings.

The proposed outdoor sales area is on top of the existing stormwater system with pavers.

The applicant clarified the following commission enquiries:

- The slope of the canopies is not being changed.
- Is the proposed ‘white’ is not reflective, and more warm and beige.

- The owner of the building owns other businesses in the area and employs a landscaping company to maintain their landscaping. The same company would be responsible for the proposed plantings. Irrigation will be needed in the first few years to establish the plantings, and drip irrigation may be used in the future.
- The rendering showing parking stall widths as 2.2m is in error. The applicant confirmed the drawings will be updated to reflect the proper size.
- Electric vehicle (EV) charging stations are not required as the proposal is not a new build. However, the commission may request them.
- Some buildings in the surrounding area have similar colour pallets, but none are currently the same.
- The rooftop deck is not currently existing, but the building below to support it is.

The commission noted the following comments:

- Physical paint swatches of paint would have been helpful.
- Many members support the paint and plant choices.
- The proposed back wall should be painted on both sides.
- The proposed design is more modern than surrounding buildings.
- Some members are supportive of the proposed over-height wall.
- A different material could be used on the over-height portion of the wall to break up the massing.
- The back entrance is the only tenant access.
- Two planters are proposed for the front of the building.
- Members hope the large concrete area at the front of the building will be utilized.
- Anchors could be used to secure the planters.
- Electrical pole is not shown on the rendering.
- Electrical services should be protected.
- Proper elevations are not shown on the renderings.
- Virginia creeper is a good choice to cover the proposed wall.
- The cedar columnar trees may pose a fire risk.
- The design of this building may set a precedent.
- Motion lights could act as a deterrent for unwanted traffic.
- Future EV chargers should be considered.
- Supported colour pallets for the area as a whole should be revisited.
- An element tying the proposed design to the existing surrounding designs could be included.
- Raked joints could be used on the proposed back wall.
- The stairs to the tenant entrance appear short.
- The configuration may require revision at the building permit stage.

Recommendation No. 3 – Development Permit for 5519 and 5517 Wharf Avenue (Coastal Living)

Moved/Seconded

The APC recommend the applicant consider using more fire resistant and drought tolerant plants in place of the proposed columnar cedar trees.

CARRIED

Recommendation No. 4 – Development Permit for 5519 and 5517 Wharf Avenue (Coastal Living)

Moved/Seconded

The APC recommend the applicant include 240-volt service into the proposed back wall for future EV charging use.

CARRIED

Recommendation No. 5 – Development Permit for 5519 and 5517 Wharf Avenue (Coastal Living)

Moved/Seconded

The APC recommend the applicant conduct a Crime Prevention through Environmental Design (CPTED) review, and include motion sensor lighting along the back portion of the building, if needed.

CARRIED

Recommendation No. 6 – Development Permit for 5519 and 5517 Wharf Avenue (Coastal Living)

Moved/Seconded

The APC recommend the use of raked joints in the proposed concrete masonry wall.

CARRIED

Recommendation No. 7 – Development Permit for 5519 and 5517 Wharf Avenue (Coastal Living)

Moved/Seconded

The APC encourage the applicant to reconsider the pedestrian experience on the transitional space in front of their building.

CARRIED

Recommendation No. 8 – Development Permit for 5519 and 5517 Wharf Avenue (Coastal Living)

Moved/Seconded

The APC recommend staff work with the applicant to refine the colours if needed.

CARRIED

Recommendation No. 9 – Development Permit for 5519 and 5517 Wharf Avenue (Coastal Living)

Moved/Seconded

The APC recommend that the applicant confer with the neighbour to the north regarding the colour of the block wall facing their side.

CARRIED

5.2 Role of the Advisory Planning Commission

Commissioners and the Director of Planning and Development noted the following:

- Some commissioners expressed that the draft minutes should be sent to all members prior to the publishing of the agenda.
- All APC minutes go to Council for adoption.
- Members of this Council do not frequently attend APC.
- APC members could attend a Council meeting as a delegation to discuss their role.
- APC recommendations are included in future staff reports for the developments.
- There are common themes within the recommendations of past APC meetings.
- Staff may explore drafting recommendations in advance for APC considering in order to streamline meetings.
- Bylaws may be amended based on consistent APC recommendations (EV charging for example)

- If the APC decides to appear in front of Council, staff could have some input prepared.
- Developments can be delayed for a number of reasons
- Planning provides direction to applicant on what they expect to see in an application package.
- APC members would like to see a list of changes that have occurred between staff and the applicant before it comes before APC.
- Some members feel processes aren't clear.
- Some members feel it is unclear at what stage a development should come before APC.
- New members would benefit from an introduction package and orientation.
- There is a lack of clarity on why some projects have not come before APC.

7. ADJOURNMENT

The Advisory Planning Commission meeting of July 2, 2024 was adjourned at 7:56 pm.

Certified Correct:

Sharif Senbel, Chair

Kerianne Poulsen, Corporate Officer



UNION OF BC INDIAN CHIEFS

OUR LAND IS OUR FUTURE

August 12, 2024

Powell River Council
City of Powell River, B.C.
Via Email Only

West Vancouver Council
City of West Vancouver, B.C.
Via Email Only

Sechelt Council
City of Sechelt, B.C.
Via Email Only

Kamloops Council
City of Kamloops, B.C.
Via Email Only

Quesnel Council
City of Quesnel, B.C.
Via Email Only

B.C. Municipalities
Via Email Only

RE: UBCIC Resolution 2024-33 “Rejection of Residential School Denialism”

Dear Powell River Council, Sechelt Council, Quesnel Council, West Vancouver Council, Kamloops Council and all B.C. Municipalities:

We are writing with respect to the Union of B.C. Indian Chiefs (UBCIC) Resolution 2024-33 “Rejection of Residential School Denialism” which was presented, affirmed, and endorsed unanimously at the UBCIC Chiefs Council on June 11, 2024 (enclosed).

By Resolution 2024-33, the UBCIC Chiefs Council calls for all levels of government and the public to:

- uphold the testimony of those with lived experience who survived and witnessed crimes and human rights violations at Residential Schools, along with the findings of experts, and the documentation of physical and archival evidence captured by the Truth and Reconciliation Commission and by subsequent investigations by First Nations and partners at former Residential Schools sites across Canada;
- implement the Truth and Reconciliation Commissions’ 94 Calls to Action;
- advance policies that acknowledge and take responsibility for the history and harmful legacy of Residential Schools; and
- support healing for survivors.

Further, the UBCIC Chiefs Council categorically rejects any and all Residential School racist denialism and ardent dissemination of racist misinformation put forward by the authors of *Grave Error – How the Media Misled Us* and perpetuated by members of the public and elected officials.

Kamloops Office
209 - 345 Chief Alex Thomas Way
Kamloops, BC, V2H-1H1
Phone: 250-828-9746
Fax: 250-828-0319

Vancouver Office
Suite 401 - 312 Main Street
Vancouver, BC, V6A-2T2
Phone: 604-684-0231 or toll free: 800-793-9701
Fax: 604-684-5726

www.ubcic.bc.ca



UNION OF BC INDIAN CHIEFS

OUR LAND IS OUR FUTURE

The UBCIC Chiefs Council stands with survivors and intergenerational survivors of Residential Schools and their families, as well as the children who never made it home and all those who are harmed by the actions of those involved with the production and distribution of the book *Grave Error – How the Media Misled Us* and the deeply troubling trend of Residential School racist denialism and any unwillingness to accept historical fact and the work of experts.

We look forward to your response.

On behalf of the UNION OF BC INDIAN CHIEFS

Grand Chief Stewart Phillip
President

Chief Don Tom
Vice-President

Chief Marilyn Slett
Secretary-Treasurer

CC: UBCIC Chiefs Council

Encl: UBCIC Resolution 2024-33

Kamloops Office

209 - 345 Chief Alex Thomas Way
Kamloops, BC, V2H-1H1
Phone: 250-828-9746
Fax: 250-828-0319

Vancouver Office

Suite 401 - 312 Main Street
Vancouver, BC, V6A-2T2
Phone: 604-684-0231 or toll free: 800-793-9701
Fax: 604-684-5726

www.ubcic.bc.ca

OUR LAND IS OUR FUTURE

UNION OF BRITISH COLUMBIA INDIAN CHIEFS

FOUNDING HEAD OFFICE
209 - 345 Chief Alex Thomas Way
Kamloops, B.C. V2H 1H1
Tel: 250-828-9746
Fax: 250-828-0319



VANCOUVER OFFICE
401 - 312 Main Street
Vancouver, B.C. V6A 2T2
Tel: 604-684-0231
Fax: 604-684-5726
1-800-793-9701
Email: ubcic@ubcic.bc.ca
Web: www.ubcic.bc.ca

UNION OF B.C. INDIAN CHIEFS CHIEFS COUNCIL

JUNE 10TH – 11TH, 2024

SHXWHÁ:Y VILLAGE COMMUNITY CULTURAL CENTRE (STÓ:LŌ TERRITORY)

Resolution no. 2024-33

RE: Rejection of Residential School Racist Denialism

WHEREAS Indigenous peoples in Canada who have been subjected to Canada’s policies of forced assimilation, including through the forcible removal of children to Residential Schools to “kill the Indian in the child,” have always known the truth of the crimes and atrocities committed at these institutions, including the loss of culture and language, emotional, spiritual, sexual, physical, and psychological abuse and other injustices that severely impacted entire communities and families for generations;

WHEREAS the ongoing investigations into the likely remains of children who were forced to attend former Residential Schools across Canada in unmarked graves have provided evidence of state-sanctioned genocide, human rights and humanitarian law violations, and further demonstrate an ongoing pattern of violence inflicted upon Indigenous peoples by the government of Canada and the churches through the Residential School system and colonial laws and policies;

WHEREAS increasingly, since the publicization of these investigative findings, there has been a troubling trend of Residential School denialism. Particularly concerning is the dissemination of misinformation and harmful denialism by individuals elected to public office;

WHEREAS in April 2024, this pernicious phenomenon came to light in B.C. in media reports against the Mayor of Quesnel and his wife for distributing a book entitled *Grave Error – How the Media Misled Us* that indicates genocide did not occur at Residential Schools and essentially questions their very existence and well-documented harms against Indigenous peoples. There have been concerns that materials such as these are being widely distributed amongst local government circles to perpetuate racist attitudes that uphold white supremacy and deny the realities of Canada and the Churches’ roles in Residential Schools;

WHEREAS other examples of genocide denial such as Holocaust denialism have been widely documented and discredited as the work of individuals or groups who feel threatened or fear loss of power and instead choose to perpetuate stereotypes and hateful beliefs used to undermine the realities of history;

WHEREAS Canada's policies of forced assimilation of Indigenous children at Residential Schools was intentional and is widely documented. The pain of denialism is deeply offensive and compounds the suffering that generations of survivors have already endured and has no place in public discourse;

WHEREAS the *United Nations Declaration on the Rights of Indigenous Peoples*, which the government of Canada has adopted without qualification, and has, alongside the government of B.C., passed legislation committing to implement, affirms:

Article 7(2): Indigenous peoples have the collective right to live in freedom, peace and security as distinct peoples and shall not be subjected to any act of genocide or any other act of violence, including forcibly removing children of the group to another group.

Article 8(1): Indigenous peoples and individuals have the right not to be subjected to forced assimilation or destruction of their culture.

(2): States shall provide effective mechanisms for prevention of, and redress for: (a) Any action which has the aim or effect of depriving them of their integrity as distinct peoples, or of their cultural values or ethnic identities; (b) Any action which has the aim or effect of dispossessing them of their lands, territories or resources; (c) Any form of forced population transfer which has the aim or effect of violating or undermining any of their rights; (d) Any form of forced assimilation or integration; (e) Any form of propaganda designed to promote or incite racial or ethnic discrimination directed against them;

WHEREAS the Truth and Reconciliation Commission of Canada (TRC) estimates that 150,000 children were forced to attend Residential Schools nationwide, identifying that more than 4,100 children died at these facilities –although survivors and families have maintained that that number is much higher. This number is likely to rise as Indigenous communities continue to document and identify missing children and unmarked graves through archival, archaeological and oral histories;

WHEREAS UBCIC Resolutions 2003-14, 2006-23, 2008-04, 2010-34, 2011-14, 2013-16, 2013-42, 2015-35, 2016-45, 2021-29, 2021-49, 2021-50, 2022-65 cite the numerous horrors of Residential Schools and the need for comprehensive healing supports for survivors, families and communities;

WHEREAS by UBCIC Resolution 2015-28 and 2021-29, the UBCIC Chiefs Council called upon the government of Canada to take immediate steps to develop a legal framework to fully implement all recommendations of the Truth and Reconciliation Commission of Canada and to provide immediate funding and supports to Tk'emlúps te Secwépemc, and other First Nations such as Cowessess First Nation as they develop and implement frameworks and processes to further identify, document, maintain, commemorate, and protect the remains of the children found buried at the Kamloops Indian Residential School and the site itself, and any additional supports required by the Tk'emlúps te Secwépemc in undertaking this difficult work as the First Nation to confirm the presence unmarked graves;

WHEREAS the ongoing recoveries of missing and unidentified Indigenous children at former Residential School sites have triggered and re-traumatized Residential School survivors, including intergenerational survivors, and have brought to public attention the immense trauma, violence, and abuse Indigenous peoples and communities continue to heal from with strength, courage, and resolve;

WHEREAS reconciliation requires accountability, compassion and action. The revelation and publicization of these dark realities of Canadian history require Canada and settler Canadians to do the uncomfortable work of examining their own histories, their relationships with First Nations and place, to learn and to take action to right historical and ongoing wrongs;

WHEREAS adequate, long-term funding is required from the government of Canada to complete the work commenced at former Residential School sites across Canada to address these wrongs. Without adequate funding, the missing children will never be returned home to their families and their home communities; and

WHEREAS Residential School denialism and any attitudes or actions which seek to undermine the reality of the horrors of Canada's Residential School policies, particularly for political gain, is deeply painful, harmful to survivors and their families and acts in direct opposition to the crown's commitments to reconciliation, the UN Declaration and the Calls to Action set out by the TRC.

THEREFORE BE IT RESOLVED the UBCIC Chiefs Council categorically rejects any and all Residential School racist denialism and ardent dissemination of racist misinformation put forward by the authors of *Grave Error – How the Media Misled Us*, and perpetuated by members of the public and elected officials;

THEREFORE BE IT FURTHER RESOLVED the UBCIC Chiefs Council stands with survivors and intergenerational survivors of Residential Schools and their families, as well as the children who never made it home and all those who are harmed by the actions of those involved with the production and distribution of the book *Grave Error – How the Media Misled Us* and the deeply troubling trend of Residential School racist denialism and any unwillingness to accept historical fact and the work of experts;

THEREFORE BE IT FURTHER RESOLVED the UBCIC Chiefs Council calls for all levels of government and the public to:

- uphold the testimony of those with lived experience who survived and witnessed crimes and human rights violations at Residential Schools, along with the findings of experts, and the documentation of physical and archival evidence captured by the Truth and Reconciliation Commission and by subsequent investigations by First Nations and partners at former Residential Schools sites across Canada;
- implement the Truth and Reconciliation Commissions' 94 Calls to Action;
- advance policies that acknowledge and take responsibility for the history and harmful legacy of Residential Schools; and
- support healing for survivors; and

THEREFORE BE IT FINALLY RESOLVED the UBCIC Chiefs Council reaffirms Resolution 2021-29 and calls on the government of Canada and B.C. to:

- commit to sustainable long-term funding to support continued work by *all affected First Nations* to locate and identify missing children and unmarked graves at former Residential School across Canada; and
- work in collaboration with First Nations to counter and address Residential School racist denialism in B.C., including by developing targeted education campaigns to counter denialism in the public and public sector.

Moved: Kukpi Lee Spahan, Coldwater Indian Band
Seconded: Kukpi7 James Hobart, Spuzzum First Nation
Disposition: Carried
Date: June 11, 2024